

TOWN OF ELIOT, MAINE

PLANNING BOARD AGENDA

TYPE OF MEETING: IN PERSON WITH REMOTE OPTION
PLACE: TOWN HALL/ZOOM

DATE: Tuesday, July 25, 2023
TIME: 6:00 P.M.

PLEASE NOTE: IT IS THE POLICY OF THE PLANNING BOARD THAT THE APPLICANT OR AN AGENT OF THE APPLICANT MUST BE PRESENT IN ORDER FOR REVIEW OF THE APPLICATION TO TAKE PLACE.

- 1) **ROLL CALL**
 - a) Quorum, Alternate Members, Conflicts of Interest
- 2) **PLEDGE OF ALLEGIANCE**
- 3) **MOMENT OF SILENCE**
- 4) **ELECTION OF OFFICERS**
- 5) **10-MINUTE PUBLIC INPUT SESSION**
- 6) **REVIEW AND APPROVE MINUTES**
 - a) October 4, 2022 to June 27, 2023 – if available
- 7) **NOTICE OF DECISION – if available**
- 8) **PUBLIC HEARING**
 - a) 16 Arc Road (Map 45/Lot 17), PID # 045-017-000, PB 23-10: Shoreland Zoning Permit Application – Marijuana Store and Medical Marijuana Caregiver Retail Store
- 8) **NEW BUSINESS**
 - a) 17 Levesque Drive (Map 29/Lot 26), PID # 029-026-000, PB23-11: Site Plan Amendment/Review and Change of Use – Eliot Commons Car Wash
 - b) 857 Main Street (Map 10 / Lot 2), PID # 010-002-000, PB 23-12: Site Plan Amendment/Review and Shoreland Zoning Permit Application – Boatyard Expansion
- 9) **OLD BUSINESS**
 - a) 771 & 787 Main Street (Map 6/Lots 43, 44, & 154), PID # 006-043-000, 006-044-000, & 006-154-000, PB 23-13: Subdivision Plan Amendment
 - b) November 2023 Ordinance Amendments: Housing/LD2003, Park-and-Rides, Grocery Stores
- 10) **OTHER BUSINESS / CORRESPONDENCE**
 - a) Updates, if available: Ordinance Subcommittee, Comprehensive Plan, Town Planner, Board Members
- 11) **SET AGENDA AND DATE FOR NEXT MEETING**
 - a) August 1, 2023
- 12) **ADJOURN**

NOTE: All Planning Board Agenda Materials are available on the Planning Board/Planning Department webpages for viewing.

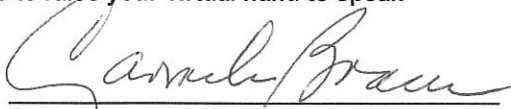
To view a live remote meeting: (Instructions can also be found on the Planning Board webpage)

- a) Go to www.eliotme.org
- b) Click on "Meeting Videos" – Located in the second column, on the left-hand side of the screen.
- c) Click on the meeting under "Live Events" – The broadcasting of the meeting will start at 6:00pm (Please note: streaming a remote meeting can be delayed up to a minute)

Instructions to join remote meeting:

To participate please call into meeting 5 minutes in advance of meeting start time. Please note that Zoom does state that for some carriers this can be a toll call. You can verify by contacting your carrier.

- a) Please call **1-646-558-8656**
 1. When prompted enter meeting number ID: **889 7224 0799**
 2. When prompted to enter Attendee ID
 3. When prompted enter meeting password: **733631**
- b) Members of the Public calling in, will be first automatically be placed in a virtual waiting room until admitted by one of the members of the Planning Board. Members of the public will be unmuted one at a time to allow for input. Please remember to state your name and address for the record.
- c) Press *9 to raise your virtual hand to speak


Carmela Braun – Chair

TOWN OF ELIOT, MAINE

PLANNING BOARD NOTICE OF DECISION

CASE #: **PB23-06 – SHORELAND ZONING**

MAP/LOT: **1/143**

DATE OF DECISION: **JUNE 6, 2023**

PERMIT APPLICATION/ SEASONAL FLOAT

18 COLE STREET

EXPANSION

7/17/2023

DRAFT

Riverside and Pickering Marine, Inc.

Attn: Kuerstin Fordham

34 Patterson Lane

Newington, NH 03801

Kenneth & Jacqueline Scarpetti

18 Cole Street

Eliot, Maine 03903

To: Kenneth & Jacqueline Scarpetti

Kuerstin Fordham

This is to inform you that the Planning Board has acted on your Shoreland Zoning application for an **additional 6'X24' seasonal float expansion onto the existing pier, seasonal gangway, and seasonal main float,** as follows:

APPLICATION DOCUMENTS AND SUPPORTING MATERIAL SUBMITTED BY THE APPLICANT AND/OR THEIR REPRESENTATIVES:

SUBMITTED FOR MAY 16, 2023:

1. Shoreland Zoning permit application received March 22, 2023, with the following documentation:
 - a. Cover letter from Kuerstin Fordham, Construction Administrator, Riverside & Pickering marine Contractors.
 - b. Application for a Natural Resources Protection Act Permit (NRPA), dated March 23, 2023.
 - c. Army Corps of Engineers General Permit Application, dated March 22, 2023.
 - d. Agent letter of authorization from Kenneth & Jacqueline Scarpetti, authorizing Riverside & Pickering Marine Contractors, Inc. as their representatives for this project, dated March 10, 2023.
 - e. Public Notice: Notice of Intent to File & Certification, dated March 23, 2023.
 - f. Existing Pier System & Proposed Additional Float Site Plans prepared by Riverside & Pickering Marine Contractors, dated March 21, 2023.
 - g. Tax Map showing abutters.
 - h. Deed of Sale: Book 15164, Page 0771-0772, registered at the York County Registry of Deeds, dated May 23, 2023.
 - i. Project Description
 - j. Alternatives Analysis
 - k. Location Maps – USGS/Town GIS
 - l. Project Site Photos
 - m. Construction Plan
 - n. Erosion Control Plan
 - o. Project Summary
 - p. Notice of Intent to File, Certification & Abutter Notices
 - q. Letter from US Department of the Interior. Re: List of threatened and endangered species, dated March 22, 2023.

- r. ACOE: USFWS IPAC Official Species List
 - s. ACOE: USFWS Verification Letter
 - t. Notice of Intent sent to the Maine Historic Preservation Commission and the Five Indian Tribes.
2. Memo from Jeff Brubaker, Town Planner, dated April 24, 2023.

SUBMITTED FOR JUNE 6, 2023:

- 1. Memo from Jeff Brubaker, Town Planner, dated May 24, 2023.
- 2. 500-foot Abutters List Report.
- 3. Public Hearing Notice to Town of Eliot, dated May 26, 2023.
- 4. Legal Public Hearing Notice published in the Weekly Sentinel, dated May 26, 2023.

FINDINGS OF FACT:

- 1. The owners of the property are: Kenneth & Jacqueline Scarpetti (mailing address: 18 Cole Street, Eliot, Maine 03903).
- 2. Agent letter of authorization from Kenneth & Jacqueline Scarpetti, authorizing Riverside & Pickering Marine Contractors, Inc. as their representatives for this project, dated March 10, 2023.
- 3. The Agent of Record is: Kuerstin Fordham, Construction Contractor, Riverside & Pickering Marine Contractors (mailing address: 34 Patterson Lane, Newington, NH 03801).
- 4. The property is located at 18 Cole Street in the Village Zoning District and Resource Protection and Limited Residential Shoreland Zone (shoreland overlay), identified as Assessor's Map 1, Lot 143, and containing 0.57 acres.
- 5. The applicant proposes the addition of a seasonal float expansion (6'X24'), perpendicular to the existing main float (10'X30'), and will be located with a proposed 12' Green Heart Piling. The existing pier structure consists of a 6' x 30' permanent fixed timber residential pier, a 3' x 32' gangway (seasonal), a 10'X30' main float (seasonal). Currently, the main float and docked vessel are negatively impacted by the current, wind fetch, and boat wakes, leading to damage to both the main float and vessel. The proposed seasonal float expansion perpendicular to the existing main float will allow for the ability to moor the vessel with the current to dramatically increase the safety of the existing pier structure and vessel.
- 6. The use of the proposed structure will be under "Piers, docks, wharves, bridges and 'other structures' and uses extending over or below the normal high-water line of a water body or within a wetland", specifically "other structures and uses", as listed in the Table of Land Uses (Sec. 44-34(41)(b)).
- 7. Based on applicable standards in §44-35(c), all applicable standards appear to be met.
- 8. The applicant submitted the proposal to the DEP, AOCE, Maine Historic Preservation Commission, and the Five Indian Tribes.
- 9. Applicant submitted a full Maine DEP NRPA Permit Application, dated March 22, 2023. A copy of the approval will be submitted to the Planning Department once received.
- 10. Applicant submitted a US ACOE (Army Corp of Engineers) Maine General Authorization/Permit Application, dated March 22, 2023. A copy of the approval will be submitted to the Planning Department once received.
- 11. Copies of the application and supporting materials were provided to the Code Enforcement, Public Works, Police and Fire Departments, Conservation Commission, and Harbor Master. There were no comments.
- 12. The Planning Board reviewed the application at the following regular meetings:
 - May 16, 2023 (site plan review/completeness)
 - June 6, 2023 (site plan review/public hearing/approval)
- 13. A site walk was not held.
- 14. The Planning Board found the application complete May 16, 2023.
- 15. In accordance with Sec. 33-128 & 129, a public hearing was advertised in The Weekly Sentinel on May 26, 2023 and held on June 6, 2023. There were no public comments.
- 16. Legal notice of the public hearing was posted to the Town of Eliot May 26, 2023.
- 17. The following fees have been paid by the applicant:
 - Shoreland Zoning Permit Application, Residential Pier: \$50.00.
 - Public Hearing Fee: \$175.00.

18. Shoreline frontage of 201 +/- feet for this legally, non-conforming lot of record. Requirement has been met, per §44-32(e)(1).
19. The total length of the pier structure will approximately 116 feet, which meets the requirement of §44-35(c)(10b).
20. Pier system does not extend beyond the mean low water mark.
 - Per Site Plan Sheet 3, floats will be at about a 1.5-foot depth at mean low water.
21. There is no impact to riparian lines.
22. Regarding Erosion and Sedimentation Control, proposed activity does not offer any opportunity for erosion to occur during construction, so erosion control measures are not necessary. There will be no disturbance of the upland property.
23. In the off season, gangway and floats will be stored on the fixed pier, off-site, or on adjacent uplands by a third-party company. (NOTE: This is standard, usually, but it was not discussed and should not be part of the NOD, in my opinion.)
24. There is no impact to the Northern Long-eared Bat pups.
25. This project is designed to have minimal impact to the tidal wetland resources and avoidance of any navigational interference.
26. Reflectors will be installed on existing pier and float, as well as the proposed float, per §44-35(c)(14).

CONCLUSIONS:

1. All applicable sections of the Shoreland Zoning Ordinance (Chapter 44) and Shoreland Zoning Permit Application have or will be met.
2. Based on the information presented by the applicant and in accordance with Sec. 44-44, the Planning Board finds that the proposed use:
 - a. Will maintain safe and healthful conditions;
 - b. Will not result in water pollution, erosion, or sedimentation to surface waters;
 - c. Will adequately provide for the disposal of all wastewater;
 - d. Will not have an adverse impact on spawning grounds, fish, aquatic life, bird, or other wildlife habitat;
 - e. Will conserve shore cover and visual, as well as actual, points of access to inland and coastal waters;
 - f. Will protect archaeological and historic resources as designated in the comprehensive plan;
 - g. Will avoid problems associated with floodplain development and use; and
 - h. Is in conformance with the provisions of section 44-35, land use standards.
3. The addition of a seasonal float expansion (other structure) extending over or below the normal high-water line or within a wetland is SPR use in the Shoreland Zone.

DECISION:

Based on the above facts and conclusions, on June 6, 2023 the Planning Board voted to approve your application for an **additional seasonal float (6'X24') expansion onto the existing pier, seasonal gangway, and seasonal main float**, as detailed in the plans and materials submitted.

CONDITIONS OF APPROVAL:

The applicant must comply with all requirements of the Town of Eliot Land Use Ordinances. In addition, to further promote the purposes of the Eliot Zoning Ordinance, the Planning Board has voted to impose the following conditions on the approval of this application:

1. The property may be developed and used only in accordance with the plans, documents, material submitted, and representations of the applicant made to the Planning Board. All elements and features of the use as presented to the Planning Board are conditions of approval and no changes in any of those elements or features are permitted unless such changes are first submitted to and approved by the Eliot Planning Board.
2. The permit is approved on the basis of information provided by the applicant in the record regarding the ownership of the property and boundary location. The applicant has the burden of ensuring that they have the legal right to use the property and that they are measuring required setbacks from the legal boundary lines of the lot. The approval of this permit in no way relieves the applicant of this burden. Nor does this permit approval constitute a resolution in

- favor of the applicant of any issues regarding the property boundaries, ownership, or similar title issues. The permit holder would be well-advised to resolve any such title problems before expending money in reliance on this permit.
3. The applicant authorizes inspection of premises by the Code Enforcement Officer during the term of the permit for the purposes of permit compliance.
 4. No later than 20 days after the completion of the development, the applicant shall provide to the Code Enforcement Officer post-construction photographs of the shoreline vegetation and developed site.
 5. Prior to commencing construction, the applicant shall provide the Code Enforcement Officer with copies of the Maine DEP and U.S. Army Corps of Engineers permits and/or approvals for the project.

PERMITS:

The Planning Board has approved your application and the Code Enforcement Officer is authorized to grant you the necessary Permits or Certificates of Occupancy, as appropriate. It is your responsibility to apply for these permits. In exercising this approval, you must remain in compliance with all the conditions of approval set forth by the Planning Board, as well as all other Eliot, State, and Federal regulations and laws. Be aware, however, that Site Plan approvals for Shoreland Zoning permits granted by the Eliot Planning Board have expiration provisions specified in Section 44-45 of the Town of Eliot Code of Ordinances, which states:

Permits shall expire one year from the date of issuance if a substantial start is not made in construction or in the use of the property during that period. If a substantial start is made within one year of the issuance of the permit, the applicant shall have one additional year to complete the project, at which time the permit shall expire.

The holder of an approved permit should take care to ensure that the approval granted on June 6, 2023 does not expire prior to commencement of work or change.

APPEALS:

This decision can be appealed to the Board of Appeals within 30 days after June 6, 2023 by an aggrieved person or party as defined in Sec. 1-2 and Sec. 45-50(b) of the Eliot Zoning Ordinance. Computation of time shall be in accordance with general provisions of the Town of Eliot Municipal Code of Ordinances, section 1-2.

Sincerely,

Carmela Braun, Chair
Eliot Planning Board

This letter reviewed and approved by the Planning Board on _____, 2023.

CC: William Dries, Harbormaster
Donald Ferrara, Assessor
Shelly Bishop, Code Enforcement Officer
Jay Muzeroll, Fire Chief
Michael Sullivan, Interim Public Works Director
Elliott Moya, Police Chief

PB23-10: 16 Arc Road (Map 45/Lot 17): Shoreland Zoning Permit Application – Marijuana Store and Medical Marijuana Caregiver Retail Store – **Public Hearing**



TOWN OF ELIOT MAINE

PLANNING OFFICE
1333 State Road
Eliot ME, 03903

To: Planning Board
 From: Original report by SMPDC with additions/edits by Jeff Brubaker, Town Planner
 Cc: Josh Seymour, Applicant
 Shelly Bishop, Code Enforcement Officer
 Kim Tackett, Land Use Administrative Assistant
 Date: July 17, 2023 (report date)
 July 25, 2023 (meeting date)
 Re: PB23-10: 16 Arc Road (Map 45/Lot 17): Shoreland Zoning Permit Application – Marijuana Store and Medical Marijuana Caregiver Retail Store – **Public Hearing**

Application Details/Checklist Documentation	
✓ Address:	16 Arc Road
✓ Map/Lot:	45/17
✓ Zoning:	Commercial/Industrial (C/I) district
✓ Shoreland Zoning:	Areas of Resource Protection, Freshwater Wetlands, and Limited Commercial
✓ Owner Name:	JD Investments, LLC
✓ Applicant Name:	Green Truck Farms III, LLC
✓ Proposed Project:	Marijuana Store and Medical Marijuana Caregiver Retail Store
✓ Application Received by Staff:	March 29, 2023
Application Fee Paid and Date:	\$150.00 (4/4/2023); additional \$125 paid in July
Application Sent to Staff Reviewers:	Not yet sent / Not Applicable
Application Heard by PB	June 27 and July 25 (scheduled), 2023
Found Complete by PB	June 27, 2023
Site Walk	Not Applicable
Site Walk Publication	Not Applicable
Public Hearing	July 25, 2023 (scheduled)
Public Hearing Publication	July 7, 2023 (Weekly Sentinel)
✓ Reason for PB Review:	Shoreland Zoning Permit Review

Town Planner update: July 25, 2023

The application is effectively a renewal application for the expired Shoreland Zoning Permit Application for the proposed development that was approved by the Planning Board on April 12, 2022, in PB21-29.

Recommendation

Approval with conditions (same as PB21-29) – see motion templates below

Motion templates

Approval with shoreland zoning findings and conditions (recommended)

Motion to approve the Shoreland Zoning Permit Application for PB23-10 for a Marijuana Store and Medical Marijuana Caregiver Retail Store at 16 Arc Rd., with the intent of the approval being a renewal of the same Shoreland Zoning Permit approval in PB21-29, decided April 12, 2022, with the following findings of fact (in addition to other applicable findings of fact to be included in the Notice of Decision):

1. All applicable sections of the Shoreland Zoning Ordinance (Chapter 44) and Shoreland Zoning Permit Application have been or will be met.
2. Based on the information presented by the applicant and in accordance with Sec. 44-44, the Planning Board finds that the proposed use:
 - a. Will maintain safe and healthful conditions;
 - b. Will not result in water pollution, erosion, or sedimentation to surface waters;
 - c. Will adequately provide for the disposal of all wastewater;
 - d. Will not have an adverse impact on spawning grounds, fish, aquatic life, bird, or other wildlife habitat;
 - e. Will conserve shore cover and visual, as well as actual, points of access to inland and coastal waters;
 - f. Will protect archaeological and historic resources as designated in the comprehensive plan;
 - g. Will avoid problems associated with floodplain development and use;
 - h. Is in conformance with the provisions of section 44-35, land use standards.

The approval includes the following conditions:

1. [Standard conditions]
2. All plans, documents, material submitted, and representations of the applicant made to the Planning Board in PB21-29, and all conditions of approval in the decision of the Planning Board in PB21-29 (April 12, 2022), shall remain in effect.

Denial

Motion to deny the Shoreland Zoning Permit Application for PB23-10, for the following reasons:

1. _____
2. _____
3. _____ [etc.]

Continuance

Motion to continue PB23-10 to the August 1, 2023, meeting.

* * *

PB23-10: 16 Arc Road (Map 45/Lot 17): Shoreland Zoning Permit Application – Marijuana Store and Medical Marijuana Caregiver Retail Store – **Public Hearing**

Overview

The applicant seeks a shoreland zoning permit for development of a marijuana retail store along with parking, grading, and other site alterations. The proposed project received site plan approval in April 2022. That approval, documented in a notice of decision, also included a shoreland zoning permit. However, shoreland zoning permits expire after one year, while site plan approvals expire after two.

In order to continue with the proposed development, the applicant requires a new shoreland zoning permit.

Type of review needed

Consider previous approvals and project review history, ask questions of the applicant, and potentially approve a shoreland zoning permit.

Use (45-290)

Both “medical marijuana establishment” and “marijuana establishment” are allowable uses in the Commercial / Industrial zone with site plan review. The proposed project was approved by the Planning Board in April 2022.

Right, title, and interest (33-106)

A warranty deed is provided with the application materials.

Dimensional requirements for Commercial / Industrial Zone (45-405)

Dimension	Standard	Met?
Min lot size	3 acres	Met
Lot line setbacks (ft): Front: 30' (on interior, non-town roads) Side: 20' Rear: 20'		Met
Building height (ft)	55'	Met
Lot coverage	50%	Met
Min. street frontage (ft)	300'	Met along Arc Road
Max sign area (sf)	100 sf	Met
Building separation (C/I district)	Min. 20' for multiple principal structures on a single lot	Met

Relevant requirements for Shoreland Zone (44-35)

Per the Town’s shoreland zoning ordinance (44-35 (b) (4): *“the total footprint area of all structures, driveways, parking areas and other nonvegetated surfaces, within the shoreland zone shall not exceed 20 percent of the lot or a portion thereof, located within the shoreland zone, including land area previously developed.”*

According to the findings of fact in the Planning Board’s relevant notice of decision, proposed building coverage is 2.7%, post-construction non-vegetated area will be 7.1%, and total shoreland

PB23-10: 16 Arc Road (Map 45/Lot 17): Shoreland Zoning Permit Application – Marijuana Store and Medical Marijuana Caregiver Retail Store – **Public Hearing**
post-construction de-vegetated areas will be 11%.

Stormwater

The shoreland zoning ordinance specifies (44-35 (j) (1 - 2)) that:

“(1) All new construction and development shall be designed to minimize stormwater runoff from the site in excess of the natural predevelopment conditions. Where possible, existing natural runoff control features, such as berms, swales, terraces and wooded areas shall be retained in order to reduce runoff and encourage infiltration of stormwaters.”

“(2) Stormwater runoff control systems shall be maintained as necessary to ensure proper functioning.”

A stormwater/drainage plan was provided and considered as part of the proposed project’s previous shoreland zoning and site plan review. The applicant will need to enter into a Chapter 35 post-construction stormwater agreement.

Parking

The proposed project’s parking (41 spaces) was considered as part of its site plan review. Per the Town’s parking requirements (45-495), *“1 space is required for each 100 square feet of retail floor area, with a minimum of 10 spaces.”* For commercial and industrial uses not specifically enumerated (which presumably covers the second, non-retail building approved under site plan review), *“1 space is required for each person employed or anticipated to be employed on the largest shift.”*

In the spirit of the shoreland zoning ordinance specified above that development should minimize stormwater runoff, the Board may wish to discuss with the applicant whether the proposed parking can be reduced. This would depend specifically on floor plans of the proposed retail building (regarding how much square footage will actually be dedicated to *retail floor area*, as opposed to storage or other uses) and whether 16 employees is still considered the largest anticipated shift size. If the parking could be reduced and still meet the requirements of the Town of Eliot’s zoning code, the applicant could potentially save on construction costs and shoreland zoning impacts minimized.

Traffic (45-406)

Per the applicant’s site plan approval, the project will be building out an 18’-wide access drive to Arc Road. The applicant is in the process of seeking a traffic movement permit from the Maine Department of Transportation. A copy of such a permit, or documentation from MaineDOT that it is not required, is one of the proposed project’s conditions of approval.

Wetlands

The site includes wetland areas of shoreland zoning, and the applicant’s site plan acknowledges wetland areas on the site. The proposed project was reviewed and approved in April 2022; the site plan approval is still current.

Water and sewer

The proposed development includes well water and a septic system, which were considered during the site plan review in April 2022.



~ Classifieds ~

HELP OFFERED

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RENTALS NEEDED!
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YARD SALES

THURRELL FARM YARD SALE
Friday 7/14 & Saturday 7/15
8:00 a.m. to 3:00 p.m.
90 Thurrell Road, South Berwick
We are clearing out the barn!
Sunshine yard sale only.

YARD SALES

COMMUNITY YARD SALE
Yorke Woods Townhouses,
801 US Route 1 • A multi-unit
yard sale! Come check it out:
Saturday, July 8, 8am-1pm

YARD SALE @ FLAGGS RV RESORT
68 Garrison Avenue, York
Corner of Webber Road
500' from Long Sands Beach
Saturday, July 8 (rain or shine)
8 AM - 12ish PM • See you there!

LEGAL & PUBLIC NOTICES

**Town of Eliot
ELIOT BOARD OF APPEALS**

TYPE OF MEETING: In-Person/Remote Option
DATE: July 20, 2023
TIME: 7:00 P.M.
LOCATION: Town Hall/Remote Option



PUBLIC HEARING:

A) Administrative appeal to decision of the Code Enforcement Officer regarding denial of a building permit application for single family dwelling, located on Punkintown Road, map 111 lot 19.

Interested persons may be heard and written communication received regarding this application at this hearing. The application is on file and available for review in the Land Use Office at Eliot Town Hall, 1333 State Road, Eliot, ME 03903.

The meeting agenda and information on how join the remote Zoom meeting will be posted on the web page at eliotmaine.org/board-appeals.

RENTALS

YEAR ROUND HOUSE / ROOM RENTALS
41 Brown Lane, Wells.
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FIREWOOD & PELLETS

ESTATE / YARD SALE

Saturday, July 8 • 8AM-4PM
Sunday, July 9 • 8AM-2PM
Rain or Shine

722 Ocean Ave, Moody Pt, Wells

Antiques, collectibles, vintage wares, home decor, furniture, books, garden items, clothing, Laura Ashley lamp shades, pillows and bedding, and more. Check it out - Find items you love and make an offer!

Riverbend Woods Multi-Family Yard Sale

Saturday, July 15
8 am to 12 pm

Rain Date: Sunday, July 16

Off Bypass Road in Wells

Something for everyone!
Cash Only Please

Advertise in The Weekly Sentinel
York County's Largest Mailed Newspaper
(207) 646-8448
ads@theweeklysentine.com

Town of Kittery Accepting Proposals for Fire Alarm Replacement

The Town of Kittery is currently accepting sealed proposals for the Town Hall Fire Alarm System Replacement. The intent and purpose of this Request for Proposals (RFP) is to establish price agreements (labor and materials inclusive) for the replacement of the main fire alarm panel, annunciator panels, and all system modules, points, and detectors. The system must satisfy the requirements of NFPA 1 Fire Code, NFPA 72 National Fire Alarm and Signaling Code, and NFPA 101 Life Safety Code.

A walk through of the building will be held on July 18, 2023 at 12 PM.

Deliver proposals to the Town Manager's Office at Kittery Town Hall, 200 Rogers Road, Kittery, ME 03904, no later than 3 PM on July 27, 2023.

For a complete description and instructions on how to submit a proposal, please visit www.kitteryme.gov/bids. Questions accepted via email to Facility Maintenance Supervisor Scott Lincoln at slincoln@kitterycommunitycenter.org.

TOWN OF BERWICK - PUBLIC NOTICE

The Berwick Planning Board will hold a Public Hearing for a Major Subdivision requested by Provisional Equity Development, LLC, located at Worster Road, Berwick, Maine, (Map R32 Lot 17-E) Zone R2, to develop a 14-lot residential subdivision of clustered lots on a 77.1 acre parcel.

Supporting documentation is available at the Town Hall in the Planning Department. Please contact the Planning Department with any questions at planning@berwickmaine.org or 207-698-1101 ext. 124.

Date: Thursday, July 20, 2023
Time: 6:30 pm

Location: Burgess Town Hall Meeting Room

BERWICK PLANNING BOARD NOTICE OF PUBLIC HEARING

The Berwick Planning Board is considering amendments to the Subdivision Regulations, Village Overlay District, Land Use Ordinance and Design Guidelines. All relevant supporting documentation will be available at the Town Hall from the Community Development and Planning Department. Copies of proposed amendments can also be found at the PUBLIC NOTICES page at www.berwickmaine.org. Please contact the Community Development and Planning Department with any questions at planning@berwickmaine.org or 207-698-1101 ext. 124.

Date & Time: Thursday, July 20, 2023, 6:30 p.m.
Location: Burgess Meeting Room - Berwick Town Hall

Town of Kittery: Notice of Public Hearing

Pursuant to M.R.S.A Title 30-A, §4352 and §16.1.7 Amendments of the Town of Kittery Land Use Development Code, the Kittery Town Council shall hold a public hearing on Monday, July 17, 2023 beginning at 6pm, to amend §16.16.4.26 Neighborhood Mixed Use zoning.

A copy of the proposed amendments is on file with the Planning Department and may be viewed at Town Hall during normal business hours, at www.kitteryme.gov, or by emailing jgarnham@kitteryme.org. All interested persons are invited to attend the public hearing in person or remotely and will be given an opportunity to be heard at the hearing or submit public comments via email to towncomments@kitteryme.org by 12pm, July 17, 2023.

LEGAL & PUBLIC NOTICES

Town of Eliot PUBLIC HEARING NOTICE

AUTHORITY: Eliot, Maine Planning Board
PLACE: Town Hall (1333 State Rd.) with Remote Option
DATE OF HEARING: July 25, 2023
TIME: 6:00PM

Notice is hereby given that the Planning Board of the Town of Eliot, Maine will hold a public hearing on Tuesday, July 25, 2023 at 6:00 PM for the following application:

16 Arc Road (Map 45/Lot 17) PB23-10: Shoreland Zoning Permit Application - Marijuana Store and Medical Marijuana Caregiver Retail Store. Applicant: Green Truck Farms III, LLC. Property Owner: JD Investments, LLC.

Interested persons may be heard and written communication received regarding the proposed application at this public hearing. The application is on file and available for review in the Planning Office at Eliot Town Hall, 1333 State Road, Eliot, ME 03903. The meeting agenda and information on how join the remote Zoom meeting will be posted on the web page at eliotmaine.org/planning-board. Town Hall is accessible for persons with disabilities.

FIREWOOD

Seasoned • Green • Kiln Dried
Cut - Split - Delivered

207-216-2983

ITEMS WANTED

WANTED: VINTAGE CLOTHING! Downsizing? Need help with a cleanout? Just have a bunch of OLD clothes? We buy men's and women's vintage clothing from 1900-1990! We pay cash. Condition does not matter - we launder and repair! Call today for a consultation: 207-245-8700

RECORDS (33, 45, 78), TAPES, REELS, ETC. WANTED!

I buy collections of recorded media and memorabilia. Appraisals for a fee. Call 603-918-8555. Leave msg.

****LOOKING TO BUY****

Vinyl Record Collections, CDs, DVDs, Cassettes. Call or Text 207-570-9760

WANTED TO BUY

Antiques * Silver * Gold * Coins
CHRIS LORD ANTIQUES
One Item or Entire Estate. Cash paid for all antiques. Antique jewelry, coins, silver, gold, paintings, clocks, lamps, telephones, radios, phonographs, nautical items, weathervanes, dolls & toys, pottery, photography, military items, swords, advertising signs, fountain pens, bottles, tools, books & much much more! Buying antiques for over 20 years. Barn and Attic Clean-Out Also.
(207) 233-5814 • ME & NH



500 feet Abutters List Report

Eliot, ME
June 30, 2023

Subject Property:

Parcel Number: 045-017-000
CAMA Number: 045-017-000
Property Address: 16 ARC RD

Mailing Address: JD INVESTMENTS LLC
19 BUFFUM RD UNIT 6
NORTH BERWICK, ME 03906

Abutters:

Parcel Number: 045-010-000
CAMA Number: 045-010-000
Property Address: 438 HAROLD L DOW HWY

Mailing Address: BETH, DAVID J
438 HAROLD L DOW HWY
ELIOT, ME 03903

Parcel Number: 045-011-000
CAMA Number: 045-011-000
Property Address: 428 HAROLD L DOW HWY

Mailing Address: TOBEY, DANA LLC
126 FORE RD
ELIOT, ME 03903

Parcel Number: 045-012-000
CAMA Number: 045-012-000
Property Address: 414 HAROLD L DOW HWY

Mailing Address: ATLANTIC AQUA FARMS USA INC
PO BOX 716
ELIOT, ME 03903

Parcel Number: 045-013-000
CAMA Number: 045-013-000
Property Address: 406 HAROLD L DOW HWY

Mailing Address: HENRIE REALTY TRUST GAGNON,
STEPHEN & GAGNON, MATTHEW
PO BOX 431
TOPSFIELD, MA 01983

Parcel Number: 045-016-000
CAMA Number: 045-016-000
Property Address: 398 HAROLD L DOW HWY

Mailing Address: HENRIE REALTY TRUST GAGNON,
STEPHEN & GAGON, MATTHEW
PO BOX 431
TOPSFIELD, MA 01983

Parcel Number: 045-016-000
CAMA Number: 045-016-000-029
Property Address: 398 HAROLD L DOW HWY #29

Mailing Address: HENRIE REALTY TRUST dba HENRY
GAGNON REALTY
PO BO 431
TOPSFIELD, MA 01983

Parcel Number: 045-018-000
CAMA Number: 045-018-000
Property Address: 384 HAROLD L DOW HWY

Mailing Address: HENRIE REALTY TRUST MARIE &
MATTHEW GAGNON TRUSTEES
PO BOX 431
TOPSFIELD, MA 01983

Parcel Number: 046-005-000
CAMA Number: 046-005-000
Property Address: 22 ARC RD

Mailing Address: WHEELABRATOR HOLDCO 1 INC
90 ARBORETUM DR SUITE 300
PORTSMOUTH, NH 03801

Parcel Number: 054-007-000
CAMA Number: 054-007-000
Property Address: HAROLD L DOW HWY

Mailing Address: TOWN OF ELIOT
1333 STATE RD
ELIOT, ME 03903

Parcel Number: 054-008-000
CAMA Number: 054-008-000
Property Address: 468 HAROLD L DOW HWY

Mailing Address: TOWN OF ELIOT TRANSFER STATION
1333 STATE RD
ELIOT, ME 03903



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

6/30/2023

Page 1 of 2



500 feet Abutters List Report

Eliot, ME
June 30, 2023

Parcel Number: 054-009-001
CAMA Number: 054-009-001
Property Address: ARC RD

Mailing Address: WHEELABRATOR HOLDCO 1 INC
90 ARBORETUM DR SUITE 300
PORTSMOUTH, NH 03801

Parcel Number: 055-008-000
CAMA Number: 055-008-000
Property Address: HAROLD L DOW HWY OFF

Mailing Address: WHEELABRATOR HOLDCO 1 INC
90 ARBORETUM DR SUITE 300
PORTSMOUTH, NH 03801



www.cai-tech.com

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6/30/2023

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TOWN OF ELIOT MAINE
 PLANNING OFFICE
 1333 State Road
 Eliot ME, 03903

To: Planning Board
 From: Jeff Brubaker, AICP, Town Planner
 Cc: Kenneth A. Wood, PE, Attar Engineering, Applicant’s Representative
 Shelly Bishop, Code Enforcement Officer
 Kim Tackett, Land Use Administrative Assistant
 Date: July 18, 2023 (report date)
 July 25, 2023 (meeting date)
 Re: PB23-1: 17 Levesque Dr. (Map 29/Lot 26): Site Plan Amendment/Review – Car Wash

Application Details/Checklist Documentation	
✓ Address:	17 Levesque Dr.
✓ Map/Lot:	29/26
✓ Zoning:	Commercial/Industrial (C/I)
✓ Shoreland Zoning:	None
✓ Owner Name:	York Hospital
✓ Applicant Name:	Shawn Moore; Agent: Attar Engineering, Inc.
✓ Proposed Project:	Car Wash Building
✓ Application Received by Staff:	January 3, 2023
✓ Application Fee Paid and Date:	\$300 (\$100 SPR; \$25 change of use; \$175 public hearing) May 4, 2023
Application Sent to Staff Reviewers:	Not yet sent
✓ Application Heard by PB Found Complete by PB	February 21 and July 25 (scheduled), 2023 TBD
Site Walk	Not held
Site Walk Publication	N/A
Public Hearing	TBD
Public Hearing Publication	TBD
✓ Reason for PB Review:	Site Plan Amendment, Change of Use, SPR uses

Overview

Applicant seeks site plan review and approval to construct a 4-bay, 3,300 sq. ft. auto wash facility with 2 vacuum islands and associated parking at 17 Levesque Dr., within Eliot Commons. The 4/27/23 cover letter describes the lot as follows: “The 1.1-acre plat designated as Unit 4 within the larger 4.47-acre parcel located at 17 Levesque Drive, is currently undeveloped aside from existing paved driveway and parking shared by the family dental and State Farm buildings.”

Type of review needed

Full site plan review: ask questions of the applicant; comment on site plan review and zoning compliance; review waiver requests; consider a completeness motion and setting of a public hearing.

Use

The use listed in the Site Plan Review application is *auto service station*. Recommendation: review as “use similar to” *auto repair garage*.

Right, title, and interest (33-106)

Town records show an approximately 4.4-acre parcel (Map 29, Lot 26) running from Route 236 to the Post Office lot line, owned by Guys Realty LLC, which includes the bank, dental office, and State Farm building. The latter building also includes a marijuana/medical marijuana testing facility. The lot is part of Eliot Commons, which has condominium lot lines for various units within the overall parcel. That is reflected in the 2006 quitclaim deed to York Hospital included in the submittal.

The packet also includes a purchase agreement between York Hospital and the applicant (specifying the condo lot size as “approximately 1 ± acres”), with an extension clause based on the timing of the Town’s site plan and code review; as-built plans from 1986; and a 2020 condominium plat showing an approved but not built York Hospital two-story professional office building. The 1986 as-builts show the site to be developed as vacant but with an 8” sanitary sewer line running across it.

Dimensional requirements (45-405)

Dimension	Standard	Met?
Min lot size	3 acres	Met for Eliot Commons overall and Map 29, Lot 26.
Lot line setbacks (ft)	30/20/30 front/side/rear	Appears to be met
Building height (ft)	55	Presumed to be met and can be confirmed during full SPR. Building elevations needed.
Lot coverage	50%	Appears to be met. See Note 5 on site plan; along with 2 existing buildings, car wash increases coverage from 7.4% to 9.8%.
Min street frontage (ft)	300	Met
Max sign area (sf)	Max. 50 sf for wall-mounted, 100 sf for common freestanding	Signs will need a sign permit from the Code Enforcement Officer and will need to accord with Ch. 45, Art. XI standards. Currently, application package only shows 32 sf (4’ x 8’) illuminated drive-through menu showing wash options.
Building separation (C/I district)	Min. 20 ft. for multiple principal structures on a single lot	Met with respect to distance from existing adjacent red building.

Stormwater

The lot is currently vacant with grass cover. Sheet 1, Note 7 reports a total proposed new impervious surface of 17,650 sq. ft. Total disturbed area is reported as 0.73 acres. The amount of disturbed area is under the amount needed for a DEP Stormwater Management Permit. The project is individually under the 1-acre disturbed area threshold for Town post-construction stormwater management requirements (Ch. 35) and erosion and sedimentation control plan (Ch. 34) requirements, but is part of a larger common plan of development (i.e. Eliot Commons) that may warrant these requirements.

Sheet 1 shows a stormwater detention pond located in the rear of the parcel. A stormwater management plan is included in the application package. The plan states that the detention pond “outlets to a level spreader that returns channelized flow to sheet flow” and then to a wooded buffer before leaving the site to a wetland. Sheet 7 includes erosion/sedimentation control notes and details. The stormwater pre- and post-construction analysis with HydroCAD modeling results shows reductions in peak stormwater flows for all three analysis points.

- AP1: -1.29 cubic feet per second (cfs)
- AP2: -0.11 cfs
- AP3: -0.96 cfs

Another smaller stormwater management area is also shown to the south of the building.

Wash water disposal

Wash water disposal is a consideration for commercial auto wash facilities, and this was discussed at sketch plan review. Chapter 18, regulating sewer connections, Chapter 31, regulating non-stormwater discharges, and Sections 45-419 and -420, prohibit or restrict treated or hazardous wastewater and wastes into surface waters, ground waters, the public sewer system, or the Town’s storm sewer system. Ch. 31 exempts only “individual residential car washing”.

In their stormwater management plan, the applicant states: “The carwash operation system includes exterior drains that are routed to the sanitary sewer system, therefore carwash operations are separate from, and will not adversely affect, the stormwater management system.”

Parking

Four diagonal employee spaces are provided in the front of the site, and four are provided at the vacuum islands. This part of the lot appears contiguous with the parking pool for the real estate/marijuana testing facility building and dental office, which accords with Note 6 reporting a total of 12 spaces on site. Note 6 estimates 2 employees at the largest shift.

Traffic (45-406)

A single driveway enters onto Levesque Dr., which is a private drive within Eliot Commons. A one-way loop of 12 ft. in width loops around to the wash bays, two with auto payment kiosks, one self-serve bay, and one detailing bay. There is also an auxiliary exit in the rear of the lot behind the back of the real estate/marijuana testing facility building.

Water and sewer

As noted in the cover letter, “The site is served by public water and private wastewater; however, the Town is extending municipal sewer to the area.” The private Eliot Commons wastewater system

pumps from an on-site pump station southeast down Route 236, and then southwest down Bolt Hill Rd., into the public sewer system. A sewer forcemain alignment along Levesque Dr. is shown on the sketch plan. The Town holds an easement for a future public gravity sewer line down Levesque Dr., with the approximate easement lines shown on the plan.

Tree buffer

The plans show the existing woods in the rear of the parcel, where Eliot Commons abuts 155 HL Dow. There are a few existing trees between the parcel and the Post Office, and the plans show the addition of two new shade trees in the front of the car wash.

Waste

A dumpster with 6' stockade fence screening is shown in the rear of the lot.

Recommendation

After accounting for any waivers, deem the application complete and set a public hearing.

Motion templates

Complete application

Motion to deem the application in PB23-1 – 17 Levesque Dr. car wash – complete. A public hearing is set for _____.

* * *

Respectfully submitted,

Jeff Brubaker, AICP
Town Planner



ATTAR

ENGINEERING, INC

CIVIL ♦ STRUCTURAL ♦ MARINE

Mr. Jeffery Brubaker, AICP, Town Planner
Town of Eliot, Maine
1333 State Road
Eliot, Maine 03903

April 27th, 2023
Project No. C381-22

**RE: Site Plan Application for Site Plan Amendment
Eliot Commons Car Wash (Tax Map 29, Lot 26)
17 Levesque Drive, Eliot, Maine**

Dear Mr. Brubaker:

On behalf of the lot owner/applicant, Shawn Moore, I have enclosed a Site Plan Application and supporting documents for your review and consideration.

The 1.1-acre plat designated as Unit 4 within the larger 4.47-acre parcel located at 17 Levesque Drive, is currently undeveloped aside from existing paved driveway and parking shared by the family dental and State Farm buildings. The site is in the Commercial/Industrial zoning district. It is not located in a flood hazard zone.

The plan proposes to construct a 4-bay Auto Wash facility with a footprint of 3,300 S.F. along with two vacuum islands and associated parking. The project requires Site Plan approval from the Eliot Planning Board.

The site is served by public water and private wastewater; however, the Town is extending municipal sewer to the area.

We look forward to discussing this project with the Planning Board at their next available meeting. Please contact me for any additional information or clarifications required.

Sincerely;

Kenneth A. Wood, P.E.
President

Case No. _____
Site review? Yes No

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF ELIOT PLANNING BOARD**

Step 1. (Fill in all blocks below - See the Planning Assistant if you don't understand.)

Tax Map 029 Lot# 026 Lot Size 1.1 acres Zoning District: C/I

Your Name Kenneth A. Wood Your mailing address 1284 State Road

City/Town Eliot State: Maine Zip: 03903 Telephone: 207-439-6023

Who owns the property now? York Hospital

Address (Location) of the property 17 Levesque Drive

Property located in a flood zone? Yes No
(If yes, please complete the attached Flood Hazard Development Application and return it with your completed application)

Step 2 (establish your legal interest in the property)

Attach a copy of the Purchase and Sales Agreement, Deed, Tax records, Signed Lease, or other documents to the satisfaction of the Planning Assistant. If you are representing a corporation, provide documentation that you have authority to speak for the corporation.

Step 3 (Go to the Zoning Ordinance Section 45-290, Table of Land uses)

What SPECIFIC land use are you applying for? Auto service station
(You MUST make this selection from Section 45-290 of the Zoning Ordinance)

Having entered the SPECIFIC land use above now provide a more detailed description of what you want to do:

The plan proposes to add a 4 bay car wash building in Eliot Commons off of Levesque drive along with two vacuum islands and associated parking.

Case No. _____

Site review? Yes No

Step 4 Attach ten (10) copies of a sketch plan, showing in approximate dimensions the following:

- All zoning districts
- The location of all existing and/or proposed buildings
- The setbacks of all existing and proposed structures or uses.

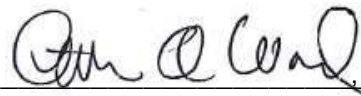
- The location of proposed signs, their size, and direction of illumination.

- The location of all existing and/or proposed entrances and exits.

- All existing and/or proposed parking areas (parking is permitted in the front, rear and side of the premises, so long as it does not violate setback requirements.)

- Plans of buildings, sewage disposal facilities, and location of water supply.

Step 5 Sign the application (both owner and applicant must sign and date the application) and submit fee with preliminary plans (\$100 per acre for first 5 acres and \$50 per acre after five plus \$150 for advertising and public hearing fees)

Applicant , Agent Date 4/26/2023

Property Owner _____ Date _____

Step 6 Application received by Planning Assistant

Date received by the PA _____ PA initials _____

Step 7 The Planning Assistant will review the application and if complete, will place your application on a future Planning Board agenda

Step 8 The applicant or representative of the applicant must attend the Planning Board meeting

PART 1 - THE PROCEDURE

Case No. _____

Site review? Yes No

(STEP 1) Meet with the Planning Assistant to assure that Site Review is required. Obtain application forms and assemble data for submission.

(STEP 2) Sketch Plan Stage Application submission. Include 10 copies of the sketch plan, survey map, location map, and affidavit of ownership or legal interest. (Section 33-63)

(STEP 3) Applicant attends first meeting with Planning Board, describes project, and answers questions (*Board may review checklist for the Site Plan at this time or act on waivers requested for submission of data*)

(STEP 4) Board sets up site visit with applicant (Section 33-64).

(STEP 5) Board visits site with applicant.

(STEP 6) Applicant attends succeeding meetings. Board does preliminary review of the Ordinance requirements for applicability to the Site Plan. Board and notifies applicant of changes required to Sketch Plan after site inspection (Section 33-103).

(STEP 7) Applicant revises the "Sketch Plan" as needed, submits the Site Plan, and pays non-refundable fees prior to the second Planning Board meeting. (Sections 33-126 & 33-128).

(STEP 8) Site Plan Stage Applicant attends succeeding meetings with Planning Board and discusses Site Plan (Section 33-129) until Board votes to accept the Site Plan (Section 33-126) *Board schedules public hearing for future meeting when all requirements have been or will be met.*

(STEP 9) Board conducts Public Hearing (Section 33-130).

(STEP 10) Approval stage Board approves / approves with conditions / disapproves applicants application within 30 days of the close of the final Public Hearing or 75 days from date Board accepted completed application and Site Plan (Section 33-131). If more than one public hearing is held, the 30-day period begins after the last public hearing.

(STEP 11) Board issues a Notice of Decision, which contains findings certifying compliance with ordinance, reasons for conditional approval or reasons for disapproval (Section 33-131). The Notice of decision and signing of the final plan is for documentation purposes and does not determine the beginning of the appeal period.

(STEP 12) Appeal Period A 30-day appeal period begins from the date the Board makes a decision on the application. (Section 45-50) The applicant may begin work on the project during this period, but does so at his or her own risk.

PART 2

Case No. _____

Site review? Yes No

DETAILED ORDINANCE REFERENCES FOR EACH SITE REVIEW EVENT

1. Submit application. (Section 33-63) Include 10 copies of all submissions that show:

- Sketch Plan- (See Section 33-105) showing:
 - All zoning districts
 - Existing and proposed structures
 - Existing and proposed parking areas (parking is permitted in the front, rear and side of the premises, so long as it does not violate setback requirements.)
 - Existing and proposed Streets and entrances
 - Existing and proposed setbacks
 - Other site dimensions and area
 - Site and public improvements and facilities
 - Areas of excavation and grading
 - Any other site changes
 - Location Map-This is to be submitted along with or as part of the Sketch Plan (See Section 33-104) and includes:
 - Scale of 500 ft to the inch
 - Show all area within 2000 ft of property lines
 - All surrounding existing streets within 500 ft
 - Abutters lots and names within 500 ft of property boundary
 - Zoning districts within 500 ft
 - Outline of proposed development showing internal streets and entrances

2. Site inspection (Section 33-64) The Board and Applicant conduct site inspection. Applicant shall stake the lot corners, the location of all proposed structures, parking and the centerlines of all proposed streets and entrances in development. Verify that parking meets applicable setbacks

3. Board notifies applicant of changes required to Sketch Plan after site inspection such as contour interval, street classification, etc. (Section 33-103) and determines:

- If other Local, State or Federal agencies or officers (Section 33-102) should review Sketch Plan.
- If applicable, MaineDOT driveway permit is **required** prior to local approval for anyone installing, physically changing or changing the use of a driveway on state highway.
- If review by Eliot Fire Chief ____, Police Chief ____, or Road Commissioner ____ is required.

Case No. _____

Site review? Yes No

4. Applicant converts Sketch Plan into a "Site Plan" (Sections 33-126). The following requirements are considered by the Planning Board

Chapter 33 required information

4.1. Applicant shall provide one original and 10 copies of Site Plan drawn at a scale not smaller than 1-inch equals 20 feet showing the following information:

- 4.1.1. Development name, owner, developer, designer name and address and names and addresses of all abutters and abutters land use.
- 4.1.2. Certified perimeter survey showing a north arrow, graphic scale, corners of parcel, total acreage, etc. This means a survey of the property using the standards of practice established by the State of Maine Board of Licensure for Professional Land surveyors, MRSA Chapter 121.
- 4.1.3. Temporary markers.
- 4.1.4. Contour lines at 5-ft intervals or as Board decides.
- 4.1.5. A list of the provisions of Chapter 45 (Zoning) which are applicable to this area and identification of any zoning district boundaries affecting the development.
- 4.1.6. Storm water Drainage Plan. (50 year storm)
- 4.1.7. Required bridges or culverts.
- 4.1.8. Location of natural features or site elements to be preserved.
- 4.1.9. Soil Erosion and Sediment Control Plan.
- 4.1.10. High Intensity Soils Report.
- 4.1.11. Locations of sewers, water mains, culverts and drains.
- 4.1.12. Water supply information.
- 4.1.13. Sewerage System Plan.
- 4.1.14. Septic System Survey.
- 4.1.15. Estimated progress schedule.
- 4.1.16. Construction drawings for CEO which show floor areas, ground coverage, location of all structures, setbacks, lighting, signs, incineration devices, noise generating machinery likely to generate appreciable noise beyond the lot lines, waste materials, curbs, sidewalks, driveways, fences, retaining walls, etc.
- 4.1.17. Telecommunication tower details as required.

4.2. Additional requirements made by Board (Section 33-126).

Other Chapter 33 Site Review Ordinance Requirements.

- 4.4. Traffic data if applicable (Section 33-153)
- 4.5. Campground requirements if applicable (33-172)
- 4.6. Commercial Industrial requirements if applicable
 - 4.6.1. Landscaping (Section 33-175)

Case No. _____

Site review? Yes No

- 4.6.2. Vibration (33-176)
- 4.6.3. Site Improvements (33-177)
- 4.6.4. Electromagnetic Interference (33-178)
- 4.6.5. Parking and Loading Areas (33-179, 45-487, 45-495)
- 4.6.6. Glare (33-180)

4.7. Motel requirements if applicable (Section 33-182)

4.8. Multi-family dwelling requirements if applicable (Section 33-183)

Chapter 35 Post-Construction Stormwater Management

Disturbance of more than one acre of land or less than one acre if the development is part of a larger common plan for development must comply with Chapter 35 Post – Construction Stormwater Management.

Chapter 45 Zoning Ordinance Requirements. compliance includes the following Article VIII Performance Standards:

- 4.9. Dimensional Standards (Section 45-405)
- 4.10. Traffic (Section 45-406)
- 4.11. Noise (Section 45-407)
- 4.12. Dust, Fumes, Vapors and Gases (Section 45-408)
- 4.13. Odor (Section 45-409)
- 4.14. Glare (Section 45-410)
- 4.15. Storm-water run-off for a 50 year storm. (Section 45-411)
- 4.16. Erosion Control (Section 45-412)
- 4.18. Preservation of Landscape (Section 45-413)
- 4.19. Relation of Buildings to Environment (Section 45-414)
- 4.20. Soil Suitability for Construction (Section 45-415)
- 4.21. Sanitary Standards for Sewage (Section 45-416)
- 4.22. Buffers and Screening (Section 45-417)
- 4.23. Explosive Materials (Section 45-418)
- 4.24. Water Quality (Section 45-419)
- 4.25. Refuse Disposal (Section 45-421)

4.26. Specific Activities (Article IX) which include:

- 4.26.1. Accessory Use or Structure (Section 45-452)
- 4.26.2. Home Occupation (Section 45-455)
- 4.26.3. Mobile Homes (Section 45-457)
- 4.26.4. Off-street Parking and Loading (Article X)
- 4.26.5. Signs (Article XI)

4.27. In addition the Board may make other conditions for approval that will insure such compliance and would mitigate any adverse affects on adjoining or neighboring properties which might otherwise result from any proposed use (Section 33-131).

Case No. _____

Site review? Yes No

5. Board discussion of Site Plan (Section 33-126).

5.1. Board discusses Site Plan with applicant.

6. Public Hearing (Section 33-129 & 130).

6.1. Conducted within 30 days of Boards acceptance of Site Plan.

6.2. Three notices posted 10 days prior to the Public Hearing.

6.3. Notices advertised in two newspapers 10 days prior to Public Hearing.

6.4. Other Towns notified 10 days prior to if within 500 feet of applicant's lot.

6.5. Abutters notified 10 days prior to by certified mail, return receipt requested. \$150.00 paid by applicant to cover the cost of advertising and abutter notification (Sec. 1-25)

6.6. Selectmen, CEO, and Board of Appeals shall be notified 10 days prior to the Public Hearing.

7. Board approves / approves with conditions / disapproves applicants Application within 30 days of Public Hearing or 75 days from date Board accepted completed Application and Site Plan (Section 33-131).

Note: Computation of time shall be in accordance with Section 1-2 as follows:
"In computing any period of time prescribed or allowed by this Code, the day of the act, event or default from which the designated period of time begins to run shall not be included. The last day of the period so computed shall be included unless it is a Saturday, Sunday or legal holiday, in which event the period shall run until the end of the next day which is neither a Saturday, Sunday or legal holiday. When the period of time prescribed or allowed is less than seven days, intermediate Saturdays, Sundays and legal holidays shall be excluded in the computation."

8. Notice of Decision issued which contains findings certifying compliance with ordinance, reasons for conditional approval or reasons for disapproval (Section 33-131).

Shawn R. Moore
28 Schooner Road
Scarborough, ME 04074

December 29th, 2022

Town of Eliot
Jeff Brubaker
1333 State Road
Eliot, ME 03903

Dear Mr. Brubaker:

Please be informed that personnel from Attar Engineering, Inc. (Kenneth Wood, P.E., or other Attar staff) will be acting as our agents for local permitting of our project on Levesque Drive, Eliot Maine 03903

Please contact me if I can provide any additional information.

Sincerely,

Shawn R. Moore

Shawn R. Moore

cc: Attar Engineering, Inc.

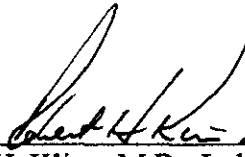
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01/26/2006 2:38PM
Debra L. Anderson
Register of Deeds

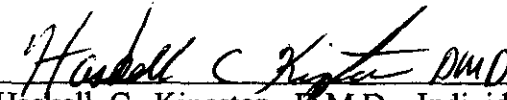
QUITCLAIM DEED WITH COVENANT

ROBERT H. KLINE, M.D. and HASKELL C. KINGSTON, D.M.D. being all of the partners of the Maine general partnership d/b/a **ELIOT COMMONS PROFESSIONAL PARK**, with a mailing address of 17 Levesque Drive, Eliot, ME 03903, as partners of said general partnership and for consideration paid, grant to **YORK HOSPITAL**, a Maine non-profit corporation with a mailing address of 15 Hospital Drive, York, ME 03909 ("Grantee"), with Quitclaim Covenant, certain real property more particularly described as follows:

SEE ATTACHED EXHIBIT A

IN WITNESS WHEREOF the undersigned have executed this instrument under seal as of this 26th day of January, 2006.


Robert H. Kline, M.D., Individually and as General Partner of the Maine general partnership d/b/a Eliot Commons Professional Park



Haskell C. Kingston, D.M.D., Individually and as General Partner of the Maine general partnership d/b/a Eliot Commons Professional Park

STATE OF MAINE
COUNTY OF YORK, ss.

January 26, 2006

Then personally appeared the above-named Haskell C. Kingston, D.M.D. individually and in his capacity as General Partner of the Maine general partnership d/b/a Eliot Commons Professional Park and acknowledged the foregoing instrument to be his free act and deed individually and in his said capacity and the free act and deed of said general partnership.

Before me,


Notary Public
My Commission Expires: **MICHAEL MOLONEY**
Notary Public, Maine
My Commission Expires May 20, 2012

R.E. TRANSFER TAX PAID

Bernstein Shur
PO BOX 9729
Portland ME 04104

HP8 ->

SEAL

STATE OF MAINE
COUNTY OF Umbedano, ss.

January 26, 2005

Then personally appeared the above-named Robert H. Kline, M.D. individually and in his capacity as General Partner of the Maine general partnership d/b/a Eliot Commons Professional Park and acknowledged the foregoing instrument to be his free act and deed individually and in his said capacity and the free act and deed of said general partnership.

Before me,

Amanda A. Meador
~~Notary Public~~ Attorney at Law
~~My Commission Expires~~

F:\Client List\K\Kingston, Haskell (JLG)\Sale Of Unit 4, Eliot Commons Condo\Quitclaim Deed With Covenant.Doc

EXHIBIT A

Unit Four (the "Unit") of Eliot Commons Professional Park Condominium (hereinafter referred to as the "Condominium") situated at the address known as Eliot Commons on Route 236 in the Town of Eliot, County of York and State of Maine, as more particularly described in the Declaration of Eliot Commons Professional Park Condominium, dated September 27, 1996, and recorded in the York County Registry of Deeds in Book 8009, Page 168, as modified by Amendment to Declaration dated January __, 2006 and recorded in said Registry of Deeds in Book ~~413A~~, Page ~~633~~, and as it may hereafter be further amended from time to time (the "Declaration"), and in the Plats incorporated into the Declaration and recorded in said Registry of Deeds in Condominium File 467, Page 1, as modified by Plat Plan - Eliot Commons, dated January ~~23~~, 2006 and recorded in said Registry of Deeds in Condominium File ~~467~~, Professional Park Condo, Page 2, and as they may hereafter be further amended from time to time (hereinafter referred to as the "Plats"), in fee simple absolute according to the Declaration.

By recordation of this deed, Grantee affirms Grantee's acceptance hereof and agrees to assume the percentage of Allocated Interests in the Unit described above in accordance with the terms and conditions of the Declaration, the Maine Condominium Act, 33 M.R.S.A. § 1601-101 et seq. (the "Act"), and the Bylaws referred to in the Declaration (the "Bylaws"), all as amended from time to time, SUBJECT TO: (a) real estate taxes assessed to the Unit for the current year which are not yet due and payable, and all subsequent years, which the Grantee assumes and agrees to pay; and (b) the terms, conditions, covenants, agreements, easements and provisions of the Declaration, the Bylaws, and the Plats, as the same may be amended from time to time, which terms, conditions, covenants, agreements, easements and provisions, together with any amendments thereto, shall constitute covenants running with the land and shall bind the Grantee and any person having at any time any interest or estate in the Unit, as though such provisions were recited and stipulated at length herein.

The Grantee shall take the exclusive right of use and occupancy of said Unit, together with the right to use the Unit, its Limited Common Elements, the Common Elements, and the rights and easements appurtenant to such Unit, all in accordance with the Declaration.

TOGETHER WITH any and all Special Declarant Rights, as that term is defined in the Declaration and the Act, to the extent such Special Declarant Rights may be necessary for the purpose of constructing the improvements described in the Declaration and shown on the Plats as Unit Four, as approved by the Eliot Planning Board, and in accordance with plans reviewed and approved by Grantor. By execution and delivery of this Deed, Grantor acknowledges and affirms that it has and hereby does waive any further Special Declarant Rights and/or development rights related to improvements to be constructed on that portion of the Condominium Property defined as Limited Common Elements for the exclusive use of Unit Four.

TOGETHER WITH an undivided interest in the Common Elements, the liability for Common Expenses, and the Votes in the Association of Unit Owners allocated to the Unit pursuant to the Declaration.

TOGETHER WITH all rights, easements, rights-of- interests, Allocated Interests, privileges and appurtenances as more particularly described, located, defined, allocated, or referred to in the Declaration, the Plats, and the Bylaws, all of which are incorporated herein by reference thereto.

SUBJECT TO the matters affecting title described in the Declaration and the Plats.

Meaning and intending to convey a portion of the same premises conveyed to Robert H. Kline, M.D. and Haskell C. Kingston, D.M.D. as partners under a Maine general partnership d/b/a Eliot Commons Professional Park, from Robert P. Levesque, Sr. by deed dated January 14, 1985 and recorded in the York County Registry of Deeds in Book 3457, Page 108, as affected by corrective deeds dated March 30, 1988 and recorded in said Registry of Deeds in Book 4669, Page 324 and Book 4669, Page 328.

End of Document

CONTRACT FOR THE SALE OF COMMERCIAL REAL ESTATE

RECEIVED from Shawn Moore and or assigns, whose mailing address is 28 Schooner Rd, Scarborough, ME 04074-8759 (hereinafter called "Purchaser"), this 3rd day of October, 2022, the sum of [redacted] Dollars as earnest money deposit toward purchase and sale of certain real estate owned by York Hospital (hereinafter called the "Seller") and located at 17 Levesque Dr in the city/town of Eliot, County of York, State of Maine, described as follows: Land of approximately 1 +/- acres listed as part of the Eliot Condo Complex at 17 Levesque Drive Eliot, Maine and being more fully more described at said County Registry of Deeds in Book 14739, Page 640, upon the terms and conditions indicated below.

1. PERSONAL PROPERTY: The following items of personal property are included in this sale (if applicable): none

2. PURCHASE PRICE/EARNEST MONEY: In consideration for such deed and conveyance Purchaser agrees to pay the total purchase price of \$ [redacted]. Purchaser [] has delivered; or [X] will deliver to the [Agency] / [Escrow Agent] (cross out one) within 1 days of the Effective Date (as defined herein), a deposit of earnest money in the amount of \$ [redacted]. Purchaser agrees that an additional deposit of earnest money in the amount of \$ [redacted] [NONE IF BLANK] will be delivered. If purchaser fails to deliver the initial and/or additional deposit in compliance with the above terms, then Seller may terminate this Contract. This right to terminate ends once Purchaser has delivered said deposit(s). The remainder of the purchase price shall be paid by Purchaser in immediately available funds at closing.

3. EARNEST MONEY/ACCEPTANCE: F.O. Bailey Real Estate ("Escrow Agent") shall hold the earnest money in a non-interest bearing account and act as escrow agent until closing. This offer shall be valid until October 5, 2022 at 5 ([] AM [X] PM). In the event of Seller's non-acceptance of this offer, the earnest money shall be returned promptly to Purchaser.

4. TITLE: Within 30 days of Effective Date (the "Title Review Period"), Purchaser shall notify Seller in writing (the "Title Objection Notice") of any matters affecting title to the property that are objectionable to Purchaser in Purchaser's sole discretion ("Title Defects"). Purchaser shall be deemed to have waived the right to object to any matter affecting title as of the Effective Date, except for any mortgage, tax lien, mechanics' lien, judgment lien, or other liens encumbering the property (for which no objection is required), if Purchaser fails to specifically identify such matters in the Title Objection Notice (each matter not objected to being a "Permitted Encumbrance"). Within seven (7) days of Seller's receipt of the Title Objection Notice, Seller shall notify Purchaser in writing whether or not Seller elects to cure any of the matters identified in the Title Objection Notice. If Seller elects to cure certain Title Defects, Seller shall use good faith efforts to cure such Title Defects and shall have a period of not more than thirty (30) days after notice of Seller's election within which to cure any such Title Defects (the "Title Cure Period"), and the Closing Date shall be extended until five (5) days after the expiration of the Title Cure Period. Seller agrees that, after the Effective Date, it shall not permit or suffer encumbrance of the property with any liens, easements, leases or other encumbrances without Purchaser's prior written consent, except that Purchaser shall not unreasonably withhold or delay its consent to new leases. On or before the Closing Date, Seller shall remove at its sole cost any such matters affecting the title to the property suffered or created by or consented to by Seller after the Effective Date that are not approved in writing by Purchaser. If Seller elects not to cure any Title Defects or if Title Defects which Seller elects to cure are not cured within the Title Cure Period, then Purchaser shall elect, by written notice to Seller on or before the Closing Date, as the same may be extended, either (i) to accept title to the property, subject to such uncured Title Defects without reduction of the purchase price and without any liability on the part of Seller therefor, in which case such Title Defects shall be Permitted Encumbrances, or (ii) to terminate this Contract, whereupon the earnest money immediately shall be returned to Purchaser and neither party shall have any further obligations under this Contract.

5. DEED: In return for payment in full of the purchase price, Seller shall convey the property on [redacted] (the "Closing Date") to Purchaser by Maine Statutory Short-Form [redacted] warranty Deed (the "Deed"), and the parties agree to execute and deliver on the Closing Date such other documents that are customary and/or reasonably necessary to complete the conveyance. It is a condition to Purchaser's obligations hereunder that title to the property shall be free and clear of all liens and encumbrances except for the following matters and otherwise in compliance with the requirements of this Contract: (i) zoning restrictions and land use laws and regulations and permits and approvals issued pursuant thereto; (ii) current taxes and assessments attributable to periods from and after the Closing, which Purchaser shall be liable to pay; (iii) leases and occupancies disclosed to Purchaser pursuant to Section 11 below; and (iv) any Permitted Encumbrance.

Page 1 of 5 Purchaser's Initials [redacted] Seller's Initials [redacted]

- 6. LEASES/TENANT SECURITY DEPOSITS: Seller agrees at closing to transfer to Purchaser, by proper assignment thereof, all Seller's rights under the current leases to the property and any and all security deposits held by Seller pursuant to said leases.
- 7. POSSESSION/OCCUPANCY: Possession/occupancy of property shall be given to Purchaser on the Closing Date subject only to the leases and tenancies disclosed to Purchaser pursuant to Section 11 below, unless otherwise agreed by both parties in writing.
- 8. RISK OF LOSS: Until transfer of title, the risk of loss or damage to the property by fire or otherwise is assumed by Seller unless otherwise agreed in writing. The property shall be in substantially the same condition at closing as it was on the Effective Date, excepting reasonable use and wear. If the property is materially damaged or destroyed prior to closing, Purchaser may either terminate this Contract and be refunded the earnest money deposit, or close this transaction and accept the property in its as-is condition together with an assignment of the Seller's right to any insurance proceeds relating thereto.
- 9. PRORATIONS: The following items shall be prorated as of the date of closing:
 - a. Real Estate Taxes based on the municipality's tax year. Seller is responsible for any unpaid taxes for prior years;
 - b. Any other municipal fees, levies or liens;
 - c. Fuel;
 - d. Metered utilities, such as water and sewer, shall be paid by the Seller through the date of closing;
 - e. Purchaser and Seller shall each pay one-half of the transfer tax as required by the laws of the State of Maine;
 - f. Rents due by _____, actual and estimated monthly common area maintenance charges, actual and estimated monthly property tax payments, and all other additional revenue received by Seller pursuant to leases of the property, in each case whether such amounts have been received by Seller or are due and payable pursuant to the relevant agreement(s); and
 - g. _____.

- 10. DUE DILIGENCE: Purchaser is advised to seek information from professionals regarding any specific issue of concern. Purchaser acknowledges receipt of property disclosure form attached hereto. Neither Seller nor the Licensees identified below make any representations or warranties regarding the condition, permitted use or value of Seller's real or personal property. Purchaser's obligation to close under this Contract is conditioned upon Purchaser's satisfaction with its investigations of the property, which may without limitation include survey, environmental assessment, engineering studies, wetlands or soils studies, zoning compliance or feasibility, and code compliance, all within 90 days of Effective Date.

All investigations will be done by professionals chosen and paid for by Purchaser. If the result of any investigation is unsatisfactory to Purchaser, Purchaser may declare this Contract null and void by notifying Seller in writing within the specified number of days set forth above and the earnest money shall be returned to Purchaser. If Purchaser does not notify Seller that Purchaser's investigation(s) is unsatisfactory within the time period set forth above, this contingency is waived by Purchaser. In the absence of any investigations(s) mentioned above, Purchaser is relying completely upon Purchaser's own opinion as to the condition of the property. Purchaser agrees to restore any disturbance to the property caused by Purchaser's investigations, and Purchaser agrees to indemnify and hold Seller harmless for any claims, damages, losses or costs, including without limitation reasonable attorneys' fees incurred or suffered by Seller as a result of Purchaser's investigations of the property, which indemnification obligation shall survive termination or closing under this Contract.

- 11. ~~REVIEW OF LEASES AND INCOME AND EXPENSE INFORMATION: Seller represents: (a) that below is a complete list of all tenants occupying the property under leases or other tenancy arrangements or agreements (the "Leases"), (b) that the Leases are in full force and effect, (c) that to Seller's knowledge, all tenants under the Leases are in full compliance therewith and (d) that Seller is not in violation of its obligations under the Leases. Seller agrees to provide Purchaser within five (5) days of the Effective Date of this Contract complete copies of all leases, including any amendments, and income and expense information concerning the property. Purchaser shall have _____ days from the date Purchaser has been provided all Leases and income and expense information to review same, and if the result of the review is unsatisfactory to Purchaser, Purchaser may declare the Contract terminated and the earnest money shall be immediately refunded to Purchaser and thereafter neither party shall have any further obligation under this Contract. Seller represents and warrants that income and expense information provided to Purchaser will be true, accurate and complete in all material respects when given. Seller shall use reasonable efforts to obtain a tenant estoppel certificate and a subordination, non-disturbance and attornment agreement in form reasonably satisfactory to Purchaser and/or Purchaser's lender for each lease within _____ days from delivery of forms therefor. Purchaser shall also on a rolling basis have _____ days from date of actual receipt of fully executed written tenant estoppel certificates in which to terminate this Contract pursuant to this Section 11 due to unsatisfactory information contained therein and upon such termination the earnest money shall be immediately refunded to Purchaser and thereafter neither party shall have any further obligation under this Contract. Between the Effective Date and the closing, Seller shall not modify, voluntarily terminate or enter into new leases or tenancy arrangements or agreements and shall obtain Purchaser's written consent to any modification or termination of Leases and to any new lease that Seller proposes to enter into with respect to the property. Purchaser's consent not to be unreasonably withheld, conditioned or delayed. In the event that Seller modifies or terminates any Leases or enters into a new Lease without Purchaser's consent, Purchaser's sole remedy shall be to terminate this Contract and receive an immediate refund of the earnest~~

~~money and thereafter neither party shall have any further obligation under this Contract. Failure of Purchaser to timely notify Seller of its termination of the Contract pursuant to any of its foregoing rights to do so under this Section 11 shall be deemed a waiver of the applicable right under this Section 11 to terminate this Contract. At the closing, Seller shall deliver written notice to the tenants and occupants of the property of the transfer of the property, and of the tenants' security deposits, to Purchaser.~~

List tenants:

None

12. FINANCING: Notwithstanding anything to the contrary contained in this Contract, Purchaser's obligation to close hereunder is conditioned upon Purchaser's obtaining within _____ (_____) days from the Effective Date of this Contract (the "Commitment Date") a written commitment (the "Commitment") from a lender for a mortgage loan of not less than _____ % of the purchase price at an initial interest rate not to exceed _____ % per annum, amortized over a period of not less than _____ (_____) years and otherwise on terms reasonably acceptable to Purchaser. In the event the Purchaser is unable to obtain the Commitment and Purchaser notifies Seller thereof by the Commitment Date, then Escrow Agent shall immediately return the earnest money to Purchaser, this Contract shall terminate, and neither party shall be under any further obligation under this Contract. It shall be a further condition of Purchaser's obligation to close hereunder that the Commitment shall not lapse, be terminated and/or withdrawn prior to the Closing Date for any reason whatsoever, including but not limited to the property failing to appraise at or above the Purchase Price, or any such other level acceptable to Purchaser and Purchaser's lender sufficient to support the Commitment. In the event the Commitment shall lapse, be terminated and/or withdrawn by Purchaser's lender for any reason (other than at the request of Purchaser) at any time prior to the Closing Date, Purchaser shall, within _____ (_____) days of Purchaser's receipt of notice of lapse, termination and/or withdrawal, notify Seller of same, and upon such notification Purchaser may, at Purchaser's option, elect to terminate this Contract and thereafter the earnest money immediately shall be returned to Purchaser and neither party shall have any further obligation under this Contract. If Purchaser does not timely notify Seller that it has failed to obtain the Commitment or that the Commitment has lapsed, terminated and/or been withdrawn, then Purchaser shall be in default of this Contract at the election of Seller. This contingency benefits Purchaser only, and only Purchaser may waive it by providing written notice to Seller specifically waiving this condition and contingency or any part thereof.

13. BROKERAGE DISCLOSURE: Purchaser and Seller acknowledge they have been advised of the following relationships:

Robert Baldacci of F.O. Bailey Real Estate
Licensee Agency

is a Seller Agent Purchaser Agent Disc Dual Agent Transaction Broker

Terry Freeman-Pirini of Century 21 Atlantic Realty
Licensee Agency

is a Seller Agent Purchaser Agent Disc Dual Agent Transaction Broker

If this transaction involves Disclosed Dual Agency, the Purchaser and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Purchaser and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. DEFAULT: If the sale of the property as contemplated hereunder is not consummated solely by reason of Purchaser's default hereunder, provided that Seller is then ready, willing and able to consummate the sale of the property as contemplated by this Contract and provided further that all conditions to Purchaser's obligation to consummate such purchase have been satisfied or waived by Purchaser, Seller shall be entitled to either (i) pursue any and all legal and/or equitable remedies; or (ii) terminate this Contract and receive the earnest money as full and complete liquidated damages for the breach of this Contract, it being agreed between the parties that the actual damages to Seller in the event of such breach are difficult to ascertain and/or prove and the earnest money is a reasonable estimate and forecast of such actual damages. The parties acknowledge that the payment of the earnest money is not intended as a forfeiture or penalty, but is intended to constitute liquidated damages to Seller. In the event of an undisputed default by either party, the Escrow Agent may return the earnest money to the party entitled to it under this Contract, with written notice to both parties pursuant to Maine Real Estate Commission regulations. If a dispute arises between Purchaser and Seller as of the existence of a default hereunder and said dispute is not resolved by the parties within thirty (30) days, the Escrow Agent may elect to file an action in interpleader and deposit the earnest money in the court to resolve said dispute, or otherwise disburse the earnest money pursuant to Maine Real Estate Commission regulations. Purchaser and Seller, jointly and severally, shall indemnify Escrow Agent for all costs, losses, expenses, and damages, including reasonable attorneys' fees, incurred by the Escrow Agent in connection with said action and/or in connection with any dispute relating to this Contract and/or the earnest money.

- 15. **MEDIATION:** Any dispute or claim arising out of or relating to this Contract or the property addressed in this Contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the Maine Association of Dispute Resolution Professionals or its successor organization. This clause shall survive the closing of this transaction.
- 16. **PRIOR STATEMENTS:** This Contract sets forth the entire agreement between the parties, and there are no other representations, agreements or understandings with respect to the subject matter of this Contract. This Contract shall be construed according to the laws of the State of Maine.
- 17. **HEIRS/ASSIGNS:** This Contract shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of Seller and successors and assigns of Purchaser.
- 18. **COUNTERPARTS:** This Contract may be signed on any number of identical counterparts, including telefax copies and electronically transmitted copies with the same binding effect as if all of the signatures were on one instrument.
- 19. **EFFECTIVE DATE:** This Contract is a binding contract when signed by both Seller and Purchaser and when that fact has been communicated to all parties or to their agents. Time is of the essence of this Contract. Seller or Licensees are given permission by the parties to complete the Effective Date blank below with the date of the last signature of the parties, and that date shall be the Effective Date for all purposes under this Contract, and if that blank is not completed, then the Effective Date shall be the date of the last signature of the parties. Except as expressly set forth to the contrary, in this Contract, the use of the term "days" in this Contract, including all addenda made a part hereof, shall mean calendar days. Deadlines in this Contract, including all addenda, expressed as "within x days" or the like shall be counted from the Effective Date, unless another starting date is expressly set forth, beginning with the first day after the Effective Date, or such other established starting date, and ending at 5:00 pm, Eastern Time, on the last day counted.
- 20. **CONFIDENTIALITY:** Purchaser and Seller authorize the disclosure of the information herein to the Licensees, attorneys, lenders, appraisers, inspectors, investigators and others involved in the transaction necessary for the purpose of closing this transaction. Purchaser and Seller authorize the lender and/or closing agent preparing the closing statement to release a copy of the closing statement to the parties and their Licensees and attorneys prior to, at, and after the closing date.
- 21. A copy of this Contract is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, consult an attorney.
- 22. Seller acknowledges that the laws of the State of Maine provide that every buyer of real property located in Maine must withhold a withholding tax equal to 2 1/2 % of the consideration unless Seller furnishes to Purchaser a certificate by the Seller stating, under penalty of perjury, that Seller is a resident of the State of Maine or the transfer is otherwise exempt from withholding.
- 23. **ADDENDA:** This Contract has addenda containing additional terms and conditions. Yes No . Explain: **This agreement provides for a 90 day due diligence period. In the event the Town of Eliot planning and code review process is delayed this agreement can be extended in 30 day increments. Buyer to confirm in writing any delay in the permitting process.**

24. **OTHER PROVISIONS:**
This agreement is not subject to financing.

The parties agree that none of the above are collateral agreements. It is the intent of the parties that, except as expressly set forth in this Contract, all covenants, representations, statements and obligations of both parties herein shall not survive closing.

SIGNATURES APPEAR ON NEXT PAGE

Page 4 of 5 Purchaser's Initials SM Seller's Initials BY

Shawn Moore and or assigns

Legal Name of Purchaser
By: Shawn Moore
Signature

Tax ID #

Name/Title, there unto duly authorized

Legal Name of Purchaser @

Tax ID #

By: _____
Signature

Name/Title, there unto duly authorized

Seller accepts and agrees to the terms and conditions set forth in this Contract and agrees to pay the Licensees the commission for services according to the terms of the listing agreement or if there is no listing agreement, the sum of _____ . In the event the earnest money is forfeited by Purchaser, it shall be evenly distributed between (1) Licensees and (2) Seller; provided, however, that the Licensees' portion shall not exceed the full amount of the commission specified.

Signed this 7th day of October, 2022

York Hospital

Seller
By: [Signature]
Signature

01-0212444

Tax ID #

Robin Labunt CFO
Name/Title, thereunto duly authorized

Seller

By: _____
Signature

Tax ID #

Name/Title, thereunto duly authorized

EFFECTIVE DATE OF THIS CONTRACT: October 5, 2022

By signature hereof, Escrow Agent agrees to perform the obligations of Escrow Agent in accordance with applicable law, the applicable provisions of the rules of the Maine Real Estate Commission, and the terms and conditions set forth in this Contract.

F.O. Bailey Real Estate
Legal Name of Escrow Agent

By: _____
Signature

David Jones
Name/Title, thereunto duly authorized



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Page 5 of 5 Purchaser's Initials SM Seller's Initials [Signature]

List of Abutters

Project: Eliot Commons Car Wash

Location: 17 Levesque Drive Tax Map: 29 Lot: 26-002

Map	Lot	Property Owner	Mailing Address
29	25	155 HDH LLC	369 Lafayette Road Hampton, NH 03842
29	26	Guys Realty LLC	16 Homestead Lane Brentwood, NH 03833
29	26-001	Kennebunk Savings Bank	P.O. Box 28 Kennebunk, ME 04043
29	26-005	Jake Rodden Insurance Agent	19 Levesque Drive #3 Eliot, ME 03903
29	26-006	Eliot Commons Professional Park Condominium Association	17 Levesque Drive #4 Eliot, ME 03903
29	27-001	M H Parsons & Sons Lumber Co	Woodbridge Road York ME 03909
29	27-01A	Sea Dog Realty LLC	86 Newbury Street Portland, ME 04101
29	29	York/Cumberland Mgmt Corp Baron Place Labrecque Property Management	P.O. Box 460 Sabattus, ME 04280



Lot 29-26 Location Map

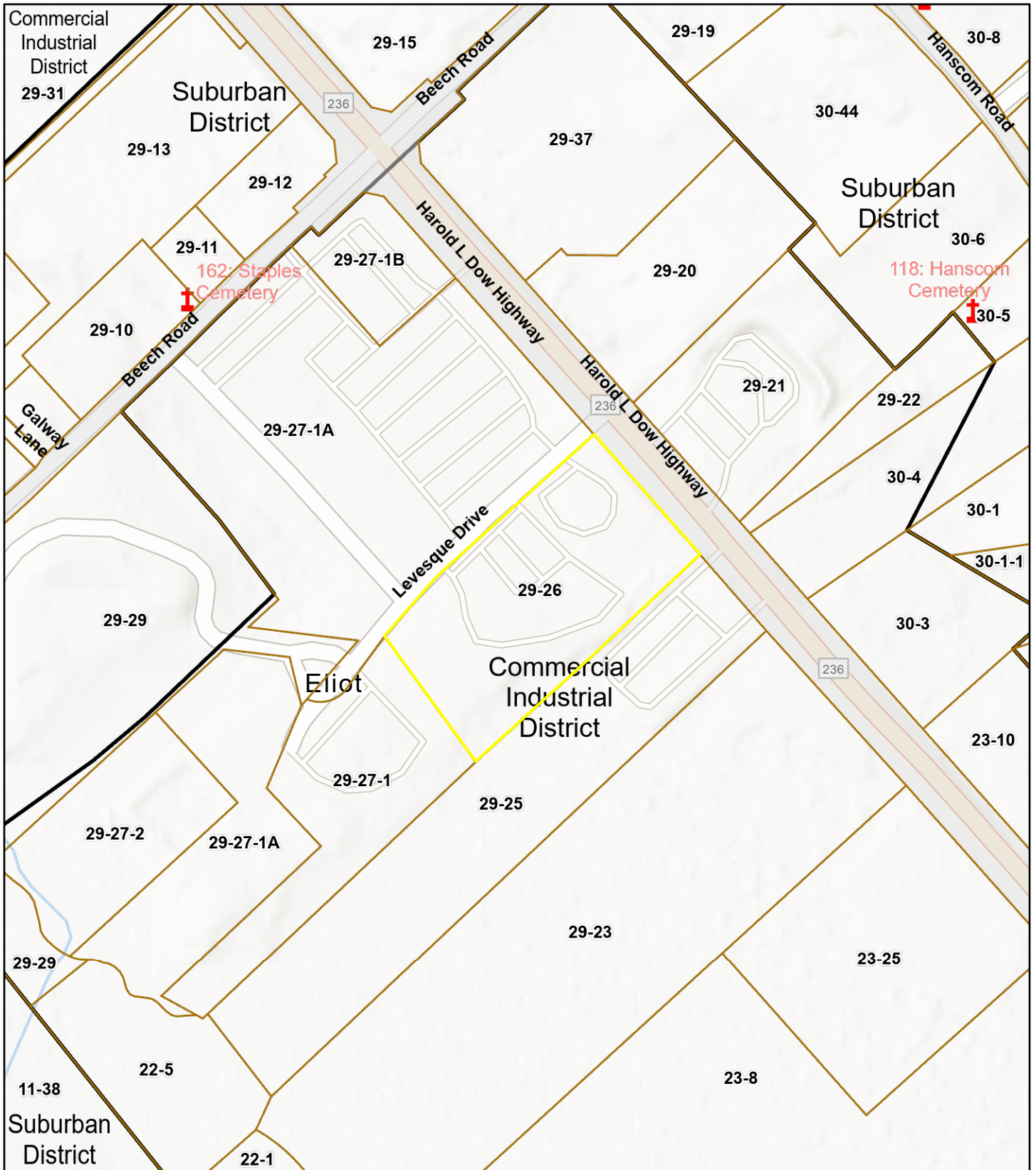
Town of Eliot, ME

1 inch = 500 Feet

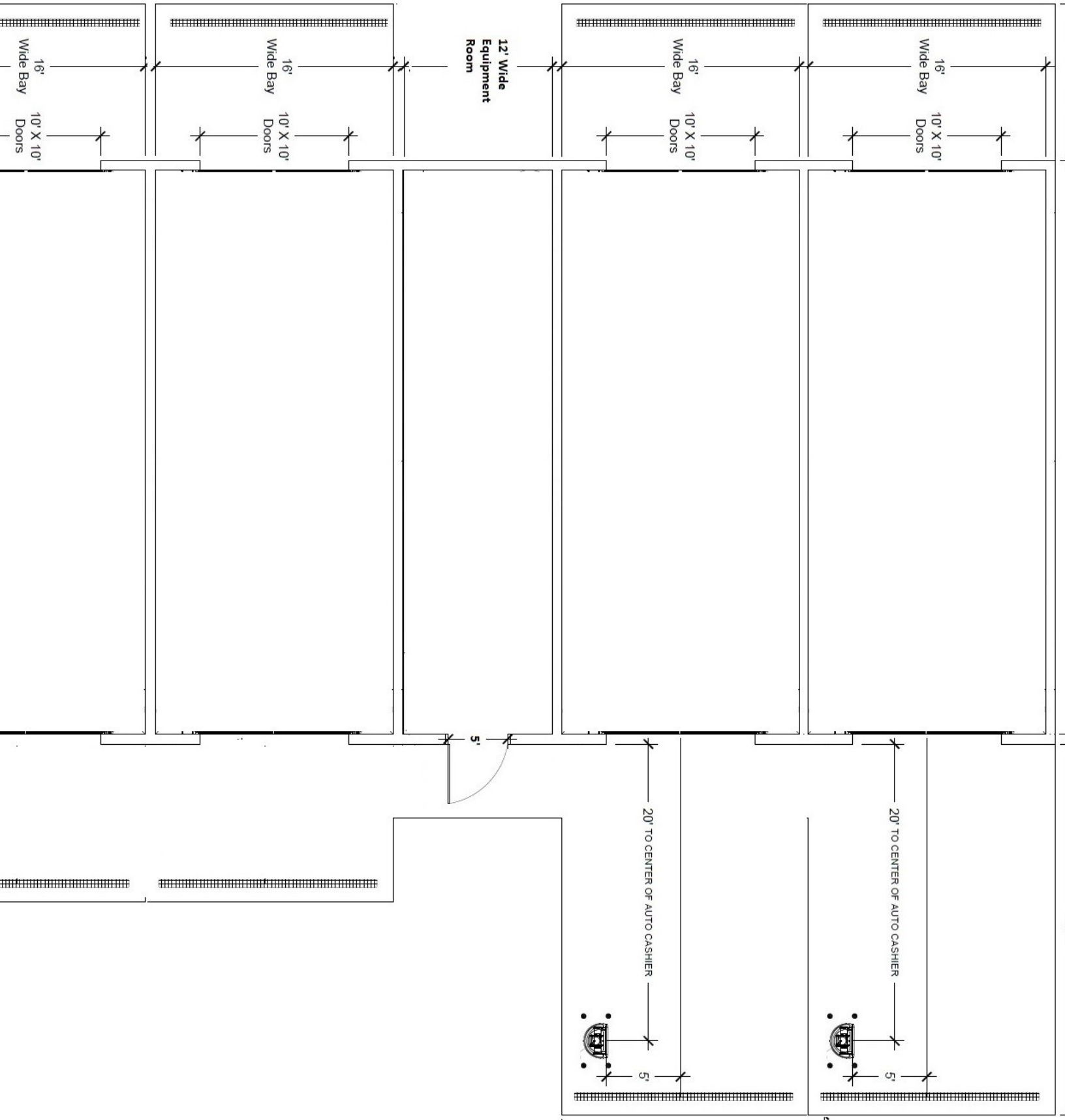


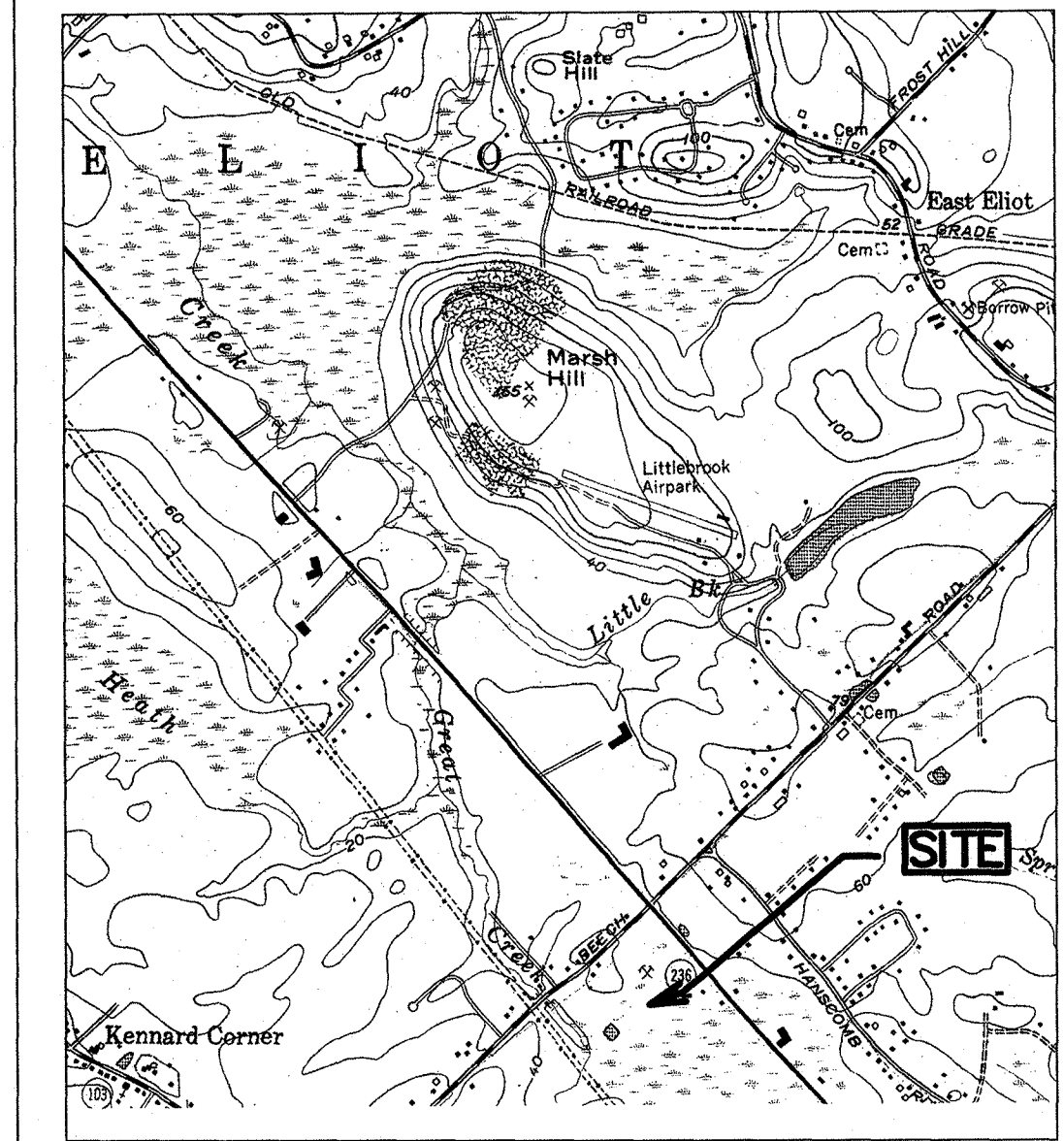
www.cai-tech.com

December 23, 2022



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





LOCATION MAP
SCALE: 1" = 2000'

GENERAL NOTES

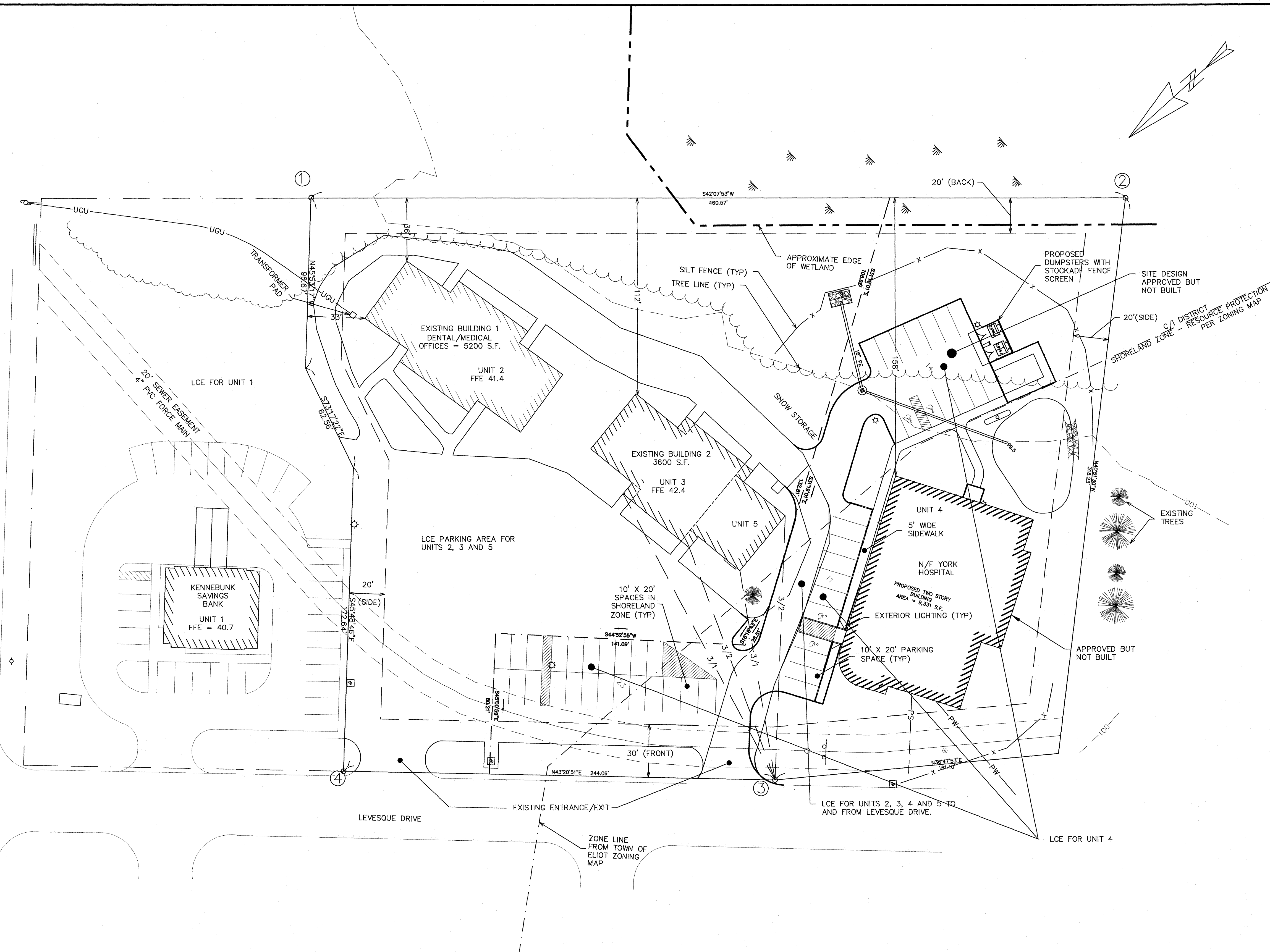
1. THIS PLAN SET IS INTENDED TO DEPICT A CONDOMINIUM PLAT FOR UNITS 3 AND 5 OF THE ELIOT COMMONS PROFESSIONAL PARK.
2. SEE SHEET 2 FOR TYPICAL UNIT DIMENSIONS FOR BUILDING 2.
3. SEE REFERENCE 2 FOR THE MOST RECENT APPROVED SITE/SUBDIVISION PLANS FOR THIS PROJECT.
4. UNITS DEPICTED ON THIS PLAN ARE CONSIDERED COMMERCIAL BUSINESS AND PROFESSIONAL OFFICES AS DEFINED IN THE TOWN OF ELIOT ZONING ORDINANCE.
5. THE PURPOSE OF THIS PLAN (CONDOMINIUM PLAT) IS TO CORRECT THE DIVISION LINE BETWEEN UNITS 3 AND 5 DEPICTED ON REFERENCE 5 AND ADD REFERENCES 3-5.
6. UNIT TIE LINES REPRESENT THE LOCATION OF THE OUTER UNIT FRAMING IN RELATION TO THE NOTED PROPERTY CORNER.

REFERENCES

1. "AS-BUILT. ELIOT COMMONS, ROUTE 236, ELIOT, MAINE" PREPARED BY RICHARD A. MANTHORNE. CAPE ELIZABETH, ME. DATED JANUARY, 1988. REVISED 3/21/88. YRCD BOOK 167, PAGE 27.
2. "PLAT PLAN, ELIOT COMMONS, ELIOT, MAINE" PREPARED BY ATTAR ENGINEERING, ELIOT, MAINE. DATED 06/16/2006. NOT RECORDED.
3. "PLAT PLAN, ELIOT COMMONS PROFESSIONAL PARK CONDOMINIUM, ELIOT, MAINE" PREPARED BY ATTAR ENGINEERING, ELIOT, MAINE. DATED 08/20/1996. YRCD BOOK 467, PAGE 1.
4. "PLAT PLAN, ELIOT COMMONS PROFESSIONAL PARK CONDOMINIUM, ELIOT, MAINE" PREPARED BY ATTAR ENGINEERING, ELIOT, MAINE. DATED 01/23/2006. YRCD BOOK 467, PAGE 2.
5. "CONDOMINIUM PLAT, ELIOT COMMONS PROFESSIONAL PARK, LEVESQUE DRIVE, ELIOT, MAINE" PREPARED BY ATTAR ENGINEERING, ELIOT, MAINE. DATED 04/05/2019. YRCD BOOK 467, PAGE 3.

UNIT	REFERENCE POINT	BUILDING CORNER	BEARING	DISTANCE
3	R3	1	N75° 31' 47.84"W	183.88'
	R3	2	N67° 50' 38.24"W	140.55'
5	R3	1	N57° 09' 30.10"W	120.66'
	R3	2	N45° 28' 42.62"W	150.46'

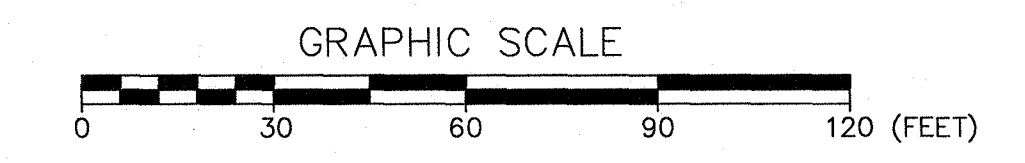
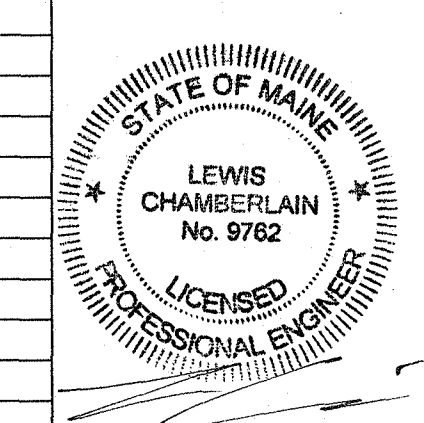
DOW HIGHWAY (ROUTE 236)



ELIOT COMMONS

LEGEND	
EXISTING CONTOUR	---XXX---
FINAL CONTOUR	—————
WETLAND BOUNDARY	———
UTILITY POLE	⊕
PRP WATER	—PW—
PRP SEWER	—PS—
CATCH BASIN	⊕
SEWER MANHOLE	⊕
EXISTING EDGE OF PAVEMENT	———
STONEWALL	⊕
SILTATION FENCE	—x—

OWNER OF RECORD/
DEVELOPER: ROBERT H. KLINE, M.D.
HASKELL C. KINGSTON, D.M.D.
ELIOT COMMONS PROFESSIONAL PARK
ELIOT, MAINE 03903



CONDOMINIUM PLAT
ELIOT COMMONS PROFESSIONAL PARK
LEVESQUE DRIVE, ELIOT, MAINE

FOR: ROBERT H. KLINE, M.D. & HASKELL C. KINGSTON, D.M.D.
ELIOT COMMONS PROFESSIONAL PARK
ELIOT, MAINE 03903

ATTAR ENGINEERING, INC.
CIVIL • STRUCTURAL • MARINE
128 STATE ROAD - ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

SCALE: 1" = 30'	APPROVED BY: 9/14/20	DRAWN BY: AGC
DATE: 09/14/20	REVISION : DATE	
JOB NO: C189-20	CAD FILE: ELIOT COM PLAT	SHEET 1 OF 2

STATE OF MAINE
YORK COUNTY ss, REGISTRY OF DEEDS
RECEIVED Sept 16, 2020
AT 11:56 a.m. P.M. AND RECORDED IN
PLAN BOOK 467, PAGE 41
ATTEST: Nancy Roman REGISTER

INDEX OF SHEETS
SHEET 1 - CONDOMINIUM PLAT
SHEET 2 - CONDOMINIUM PLAT - UNIT FLOOR PLAN

NO.	DESCRIPTION	DATE

JOSEPH K. AND MARGARET G. LYMAN
TO PETER F. AND JUNE A. READ
2284/95 11-16-77

JAMES A. AND MARGARET E. PLACE
TO DONALD JONES 1531/345 9-13-63

CMP CO. AND NET & T. CO.
EASEMENT 3007/345
11-19-82

194,870 SF
= 4.47 ACRES

ROBERT P. LEVESQUE, SR.
TO ROBERT H. KLINE, M.D. &
HASKELL G. KINGSTON, D.M.D.
3457/108 1-30-85

(CORRECTIVE DEED TO BE
RECORDED SHOWING
BEARINGS AND DISTANCES
AS SHOWN.)

20.5 ± ACRES

SHERMAN SPINNEY
(REMAINING PORTION)
TO DORIS H. WEBBER
366/383 7-18-41

DORIS H. WEBBER
TO DONALD D. AND
ELAINE T. WEBBER
2067/30 2-12-75

MIRIAM S. RAPPAPORT
TO
EMILY
THORTON
PEARSALL
903/567
11-12-37

OTIS D. & ALBERTA SNOWMAN
(PORTION OF) TO FRED I. COLSON
835/72 10-29-32

FRED I. COLSON TO ARTHUR E. AND
LORRAINE L. COLSON
1958/271

FRED I. COLSON TO ARTHUR W. PLACE
1531/291 5-3-65

CMP CO. & NET & T. CO.
EASEMENT
3996/68 9-10-86

CMP TRANSFORMER
#26.1 (5'-0" x 3'-5")
225 KVA DUAL FEED

CMP CO. & NET & T. CO.
EASEMENT 4081/180
11-20-86

40'
N.E.T.
TELEPHONE
COMPANY
EASEMENT

LEGEND:

- SHRUBS
- STONE WALL
- SCATTERED WIRE FENCE
AND POSTS, WIRE IN TREES
- IRON PIPE TO BE SET

Revised
MARCH 21, 1988

14970

YORK, SS.
REGISTRY OF DEEDS
APR 29 1988
Received
at 3:50 PM
Filed in Plan Book 115, Page 29
ATTEST: *Jan M. Parzetti*
Register

AS - BUILT

ELIOT COMMONS
ROUTE 236
ELIOT, MAINE

ROBERT P. LEVESQUE
DEVELOPER & BUILDER

JANUARY 1988 SCALE: 1" = 30'
SURVEYED BY:
RICHARD A. MANTHORNE
CAPE ELIZABETH, MAINE
R.L.S. #653



- NOTE: AS-BUILT DETERMINED FROM THE FOLLOWING:
1. RECORDED PLAN.
 2. ACTUAL FIELD MEASUREMENTS.
 3. FIELD NOTES OF R. LEVESQUE, JR.
 4. CONSULTATION WITH R. P. LEVESQUE, SR.
 5. EXISTING RECORDED DEEDS.

- NOTES:
1. ORIGINAL PLAN RECORDED IN YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 115 - PAGE 2.
 2. ORIGINAL PLAN WITH CODE ENFORCEMENT OFFICER APPROVAL FOR CONSTRUCTION RECORDED IN YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 122 - PAGE 13 ON FEBRUARY 2, 1983 AT 9:30 AM.
 3. IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, THESE BUILDINGS DO NOT FALL WITHIN A FLOOD HAZARD ZONE.
 4. ZONING: COMMERCIAL/INDUSTRIAL DISTRICT.
 5. PARKING SPACES: 379 (INCLUDES (6) HANDICAP SPACES). DOES NOT INCLUDE DOCTORS PARCEL.





ILLUMINATED DIE CUT MENU

Product Description

- Every aspect of this menu is customized to your wash theme, from the header down to the shapes and sizes of the packages.
- The menu packages are illuminated but the background of the sign body is not illuminated.
- This design allows you to replace any package in the future when your offerings change.
- **Prices for car wash packages could be easily removed and changed.*

M4X8DCL illuminated die-cut menu

Constructions	Aluminum structure with high impact plastic faces. Sign has back support giving it extra rigidity.
Dimensions	4ft W x 8ft H
Voltage/Amperage	100 - 240VAC / 2.4 AMP
Illumination	The background of the graphics is illuminated with ultra bright LED clusters
Mounting	11 3/4" x 11 3/4" x .750" plate.

Wyatt

From: Ken Wood
Sent: Wednesday, October 12, 2022 11:48 AM
To: 'Jeff Arimento'; Shawn Moore
Cc: Shawn Moore; Robert Baldacci
Subject: RE: Auto Wash

Hi Jeff – yes – both to obtain the a=latter of capacity from Eliot and also to request service... Your estimate is fine. Thanks Jeff

Best.

ken

From: Jeff Arimento <jarimento@tcwpros.com>
Sent: Wednesday, October 12, 2022 11:46 AM
To: Shawn Moore <smoore@RCMoore.com>
Cc: Shawn Moore <smoore2@maine.rr.com>; Robert Baldacci <robert@baldaccigroup.com>; Ken Wood <Ken@attarengineering.com>
Subject: RE: Auto Wash

Ken – do you need to know an estimate on the water that would be going into the sewer from the wash process?

If so, here is some common verbiage I use if needed to present... Adapted for the situation up there.

“As you are aware, we have proposed installing two in-bay automatic car wash units in Eliot, ME. There are many variables which can affect the water usage on a particular day such as vehicle size, wash set-up, type of wash sold, number of vehicles washed, etc., which makes predicting daily usage a bit tricky. That being said, we have hundreds of car washes throughout New England and can use our actual industry experience to ball-park the usage.

The automatic units (both will be friction) will average approximately 40 gallons of total water usage per car. We would estimate that this location will wash approximately 18,000 cars per year which means about 720,000 gallons per year. The actual daily usage will fluctuate greatly depending on weather, but the average daily would be about 1,972 gallons (720K divided by 365 days). In reality there will be days that no water is used (bad weather) and days that more water will be used (busy days, weekends, etc).

Please keep in mind that these are estimates based on a number of factors and we are using our ‘best guess’ based on the information we have.”

This does not include the self service bays which are virtually impossible to estimate as we have no control over the functions... if we assume the same 40 gallons per car then this will probably add about 100K per year to that number above... so total would move up to about 2,300 gallons per day average.

All of these numbers assume there will be NO water reclaim system.

Let me know if that is what you were looking for.

Jeff Arimento



ATTAR

ENGINEERING, INC

CIVIL ♦ STRUCTURAL ♦ MARINE

STORMWATER MANAGEMENT PLAN ELIOT COMMONS CAR WASH 17 LEVESQUE DRIVE, ELIOT, MAINE

Project No.: C381-22

April 25th, 2023

♦ **Scope**

This stormwater management plan has been prepared for the proposed commercial development located on Levesque Drive in Eliot, Maine. The project consists of one 4-bay, single level building and associated site improvements on a 1.1-acre lot.

The project will be constructed on a 1.1-acre portion of Tax Map 29, Lot 26, located in the Commercial / Industrial (C/I) zoning district at the above noted address. The project will result in 0.73 acres of disturbed land area and 0.41 acres of impervious area when complete. This level of development does not require a Chapter 500 (Stormwater Management) Permit from the Maine Department of Environmental Protection (MDEP).

The project must meet the stormwater management requirements outlined in the Eliot Town Code.

♦ **Site and Watershed Description**

The project site is located on the east side of Levesque Drive adjacent to the U.S. Post Office (Eliot). A 7½ minute series U.S.G.S. map of the project area is attached. The site is not currently developed and consists of a maintained (mowed) meadow area and wooded area.

The site is in the Great Creek watershed (source: USGS 7 ½ minute series, Dover East Quadrangle). The site drains in a generally southerly direction a large wetland complex associated with Great Creek.

The topography of the site is generally gently sloped (existing grades from 2% to 5%). On-site elevations (vertical datum is NAVD 1988) range from approximately 30' at Levesque Drive to approximately 20' at the low point along the southerly property line.

Proposed cuts and fills are generally between 0 and 3 feet.

♦ **Soils/Hydrologic Soil Groups**

Soil types and their respective Hydrologic Soil Groups (HSG) were determined from the Soil Survey of York County, Maine. Site soils consist of Adams loamy sand (HSG A), BuB-Buxton silt-loams (HSG C / D) and Biddeford mucky peat (HSG D). A soil location map is included with this report and soil boundaries are depicted on the drainage plan.

♦ **Methodology**

The stormwater quantity analysis was conducted using the HydroCAD Stormwater Modeling System by Applied Microcomputer Systems. The analysis was accomplished to determine the "Existing Condition" and "Developed Condition" stormwater flows. Both cases were analyzed for the 2, 10, 25 and 50 year, 24-hour frequency storm events. The Existing Condition analyzes the site as it currently exists, and the Developed Condition models the site with the proposed development described above.

◆ **Water Quantity Analysis and Results**

Existing Condition

The site was modeled as three subcatchments (SC) for the Existing Condition analysis.

Analysis Points (AP) were selected at the downstream points of each SC. The Analysis Points are located downstream of the proposed developed areas and provide convenient locations to compare Existing Condition flows to Developed Condition flows.

SC 1 (tributary to AP 1) includes the northerly section of the site and drains in an easterly direction to existing catch basins associated with the Levesque Drive drainage system.

SC 2 (tributary to AP 2) includes the western section of the site and drains in a westerly direction to the west property line, ultimately tributary to the Levesque Drive drainage system.

SC 3 (tributary to AP 3) includes the southern section of the site and drains in a southerly direction to the southeast property line and large wooded wetland.

Developed Condition

The Developed Condition analysis consists of five subcatchments. Other features such as ponds and reaches were added to account for on-site routing and detention of stormwater. One detention pond (Pond 1) is proposed. The detention pond is considered a Best Management Practice (BMP) which provides retention (peak flow reduction) of stormwater and outlets to a level spreader that returns channelized flow to sheet flow. All Developed Condition flows are routed to AP's 1-3, described above.

Tables showing Existing Condition peak flows, Developed Condition peak flows and the change in peak flow from Existing Condition to Developed Condition are presented on a separate page.

The analysis indicates decreases in peak flow at AP's 1-3 for all storm events.

Runoff from the detention pond BMP will be routed through a level spreader and downstream wooded buffer prior to discharge from the site to the large, wooded wetland.

The carwash operation system includes exterior drains that are routed to the sanitary sewer system, therefore carwash operations are separate from, and will not adversely affect, the stormwater management system.

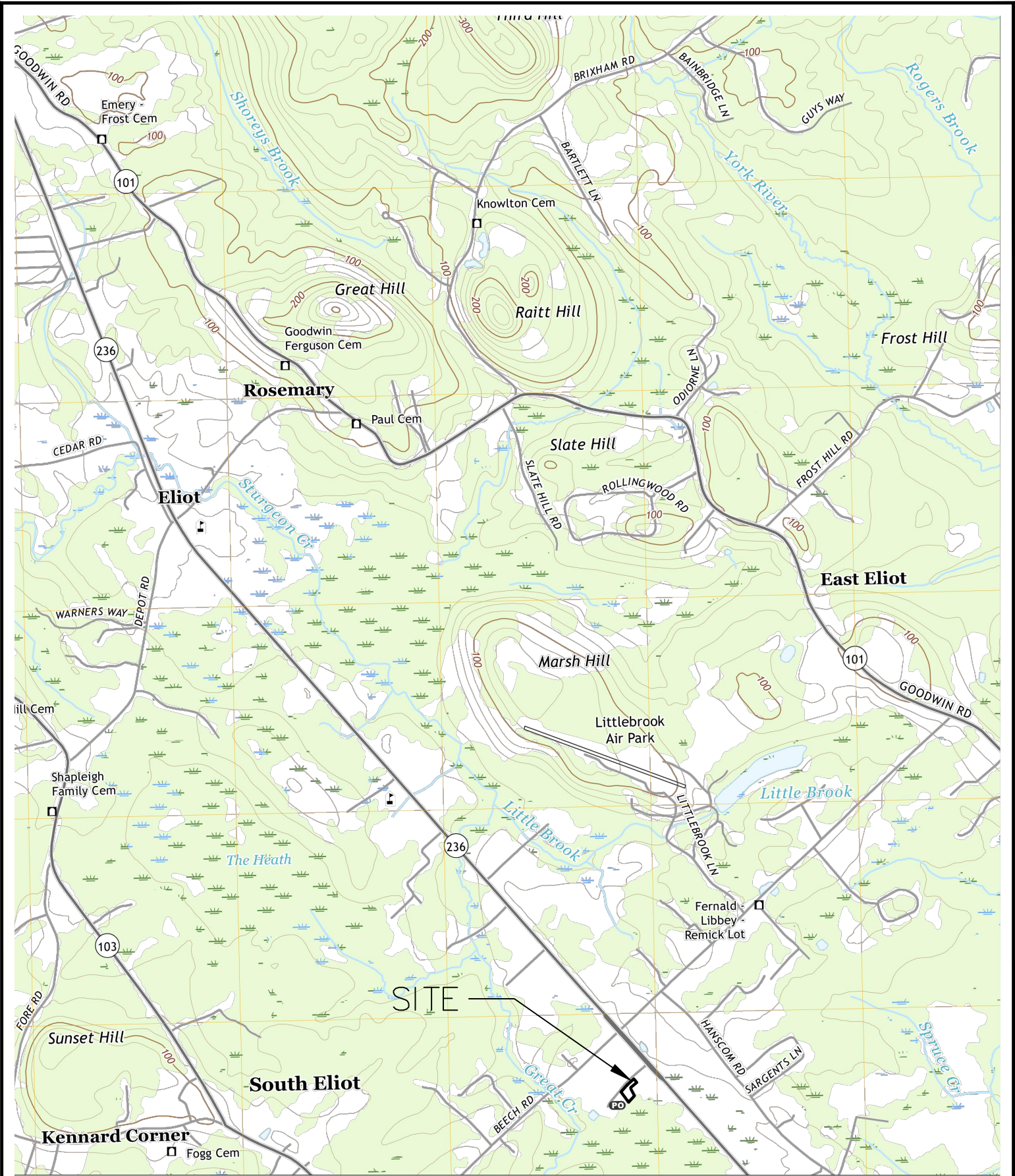
◆ **Summary**

The use of a detention pond to attenuate peak flows results in no significant increase in peak runoff quantity from the proposed Commercial Development. The use of a level spreader and wooded buffer is anticipated to preserve water quality prior to discharge from the site. No adverse effects are anticipated on any downstream properties or drainage structures for the analyzed storm events.

Respectfully submitted:

Kenneth A. Wood, P.E.
President

C381-22_SW.Doc



ATTAR ENGINEERING, INC.
 CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING
 1284 STATE ROAD - ELIOT, MAINE 03903
 PHONE: (207)439-6023 FAX: (207)439-2128

SCALE: 1" = 2000'	APPROVED BY:	DRAWN BY: WRP
DATE: 04/25/2023		REVISION DATE: - : -
JOB NO: C381-22	FILE: ELIOT COMMONS CAR WASH.DWG	SHEET: 1

LOCATION: ELIOT COMMONS CAR WASH
 17 LEVESQUE DRIVE,
 TAX MAP 29, LOT 26

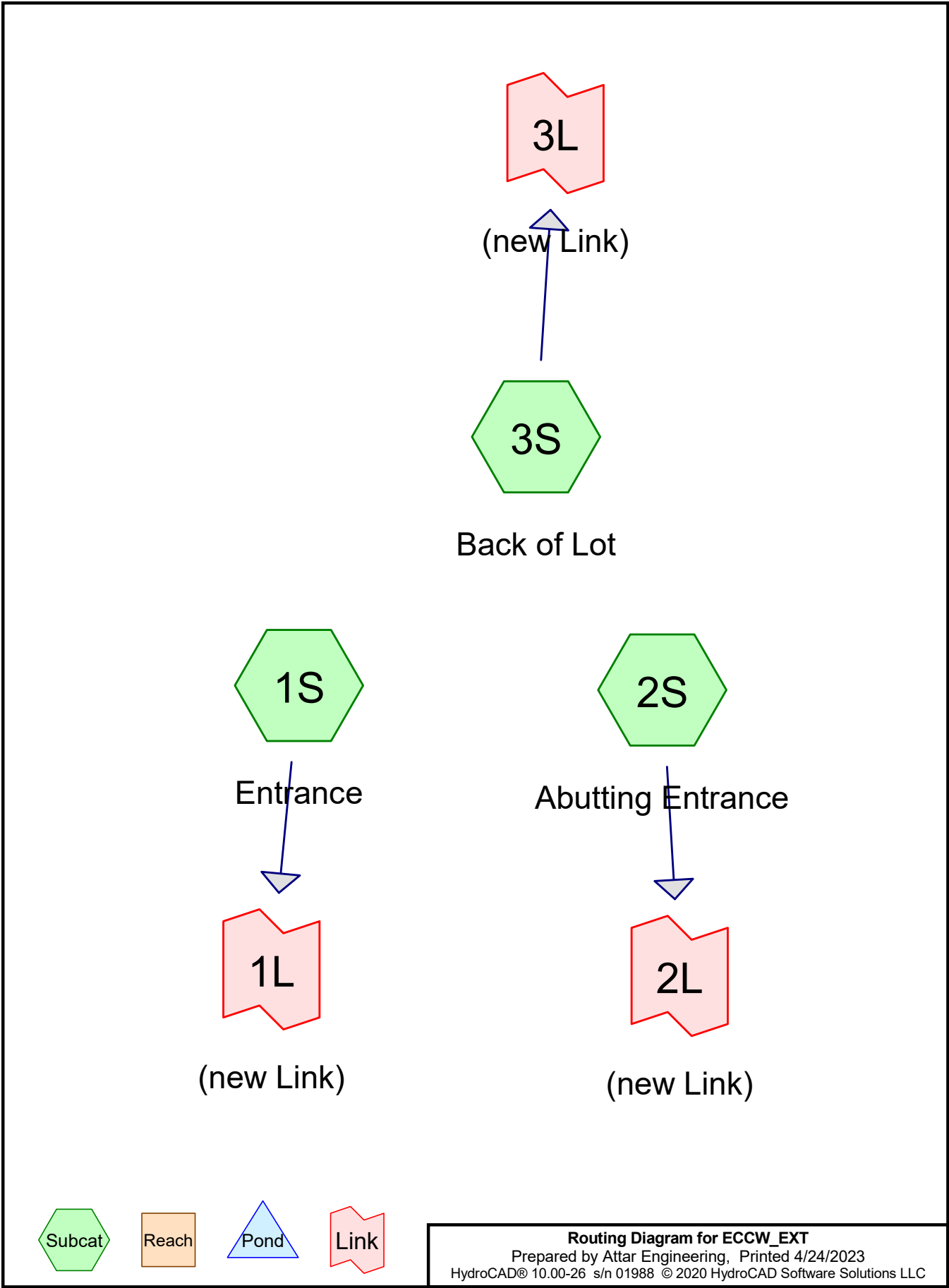
INFORMATION: USGS LOCATION MAP
 7.5-MINUTE SERIES
 PORTSMOUTH QUADRANGLE

FOR:
 SHAWN MOORE
 28 SCHOONER RD
 SCARBOROUGH, ME 04074



ATTAR ENGINEERING, INC. CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING 1284 STATE ROAD - ELIOT, MAINE 03903 PHONE: (207)439-6023 FAX: (207)439-2128			LOCATION: ELIOT COMMONS CAR WASH 17 LEVESQUE DRIVE, TAX MAP 29, LOT 26	FOR: SHAWN MOORE 28 SCHOONER RD SCARBOROUGH, ME 04074
SCALE: 1" = 2000'	APPROVED BY: 	DRAWN BY: WRP	INFORMATION: SOILS MAP USDA NRCS SOIL REPORT YORK COUNTY, MAINE	
DATE: 04/25/2023		REVISION DATE: - : -		
JOB NO: C381-22	FILE: ELIOT COMMONS CAR WASH.DWG	SHEET: 1		

EXISTING CONDITION CALCULATIONS



ECCW_EXT

Prepared by Attar Engineering

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Printed 4/24/2023

Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.044	39	>75% Grass cover, Good, HSG A (3S)
0.738	74	>75% Grass cover, Good, HSG C (1S, 2S, 3S)
0.030	80	>75% Grass cover, Good, HSG D (3S)
0.253	98	Impervious (1S, 2S, 3S)
0.040	70	Woods, Good, HSG C (3S)
0.423	77	Woods, Good, HSG D (3S)
1.529	78	TOTAL AREA

ECCW_EXT

Type III 24-hr 2-Year Storm Rainfall=3.30"

Prepared by Attar Engineering

Printed 4/24/2023

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Page 3

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance

Runoff Area=14,582 sf 33.08% Impervious Runoff Depth>1.50"
 Flow Length=143' Tc=3.8 min CN=82 Runoff=0.67 cfs 0.042 af

Subcatchment 2S: Abutting Entrance

Runoff Area=6,431 sf 7.57% Impervious Runoff Depth>1.12"
 Flow Length=90' Tc=5.9 min CN=76 Runoff=0.20 cfs 0.014 af

Subcatchment 3S: Back of Lot

Runoff Area=45,584 sf 12.55% Impervious Runoff Depth>1.18"
 Flow Length=308' Tc=4.5 min CN=77 Runoff=1.58 cfs 0.103 af

Link 1L: (new Link)

Inflow=0.67 cfs 0.042 af
 Primary=0.67 cfs 0.042 af

Link 2L: (new Link)

Inflow=0.20 cfs 0.014 af
 Primary=0.20 cfs 0.014 af

Link 3L: (new Link)

Inflow=1.58 cfs 0.103 af
 Primary=1.58 cfs 0.103 af

Total Runoff Area = 1.529 ac Runoff Volume = 0.159 af Average Runoff Depth = 1.25"
83.43% Pervious = 1.276 ac 16.57% Impervious = 0.253 ac

ECCW_EXT

Type III 24-hr 10-Year Storm Rainfall=4.90"

Prepared by Attar Engineering

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Page 4

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance Runoff Area=14,582 sf 33.08% Impervious Runoff Depth>2.80"
Flow Length=143' Tc=3.8 min CN=82 Runoff=1.24 cfs 0.078 af

Subcatchment 2S: Abutting Entrance Runoff Area=6,431 sf 7.57% Impervious Runoff Depth>2.28"
Flow Length=90' Tc=5.9 min CN=76 Runoff=0.42 cfs 0.028 af

Subcatchment 3S: Back of Lot Runoff Area=45,584 sf 12.55% Impervious Runoff Depth>2.36"
Flow Length=308' Tc=4.5 min CN=77 Runoff=3.20 cfs 0.206 af

Link 1L: (new Link) Inflow=1.24 cfs 0.078 af
Primary=1.24 cfs 0.078 af

Link 2L: (new Link) Inflow=0.42 cfs 0.028 af
Primary=0.42 cfs 0.028 af

Link 3L: (new Link) Inflow=3.20 cfs 0.206 af
Primary=3.20 cfs 0.206 af

Total Runoff Area = 1.529 ac Runoff Volume = 0.312 af Average Runoff Depth = 2.45"
83.43% Pervious = 1.276 ac 16.57% Impervious = 0.253 ac

ECCW_EXT

Type III 24-hr 25-Year Storm Rainfall=6.20"

Prepared by Attar Engineering

Printed 4/24/2023

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Page 5

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance

Runoff Area=14,582 sf 33.08% Impervious Runoff Depth>3.92"
 Flow Length=143' Tc=3.8 min CN=82 Runoff=1.72 cfs 0.109 af

Subcatchment 2S: Abutting Entrance

Runoff Area=6,431 sf 7.57% Impervious Runoff Depth>3.32"
 Flow Length=90' Tc=5.9 min CN=76 Runoff=0.60 cfs 0.041 af

Subcatchment 3S: Back of Lot

Runoff Area=45,584 sf 12.55% Impervious Runoff Depth>3.42"
 Flow Length=308' Tc=4.5 min CN=77 Runoff=4.60 cfs 0.298 af

Link 1L: (new Link)

Inflow=1.72 cfs 0.109 af
 Primary=1.72 cfs 0.109 af

Link 2L: (new Link)

Inflow=0.60 cfs 0.041 af
 Primary=0.60 cfs 0.041 af

Link 3L: (new Link)

Inflow=4.60 cfs 0.298 af
 Primary=4.60 cfs 0.298 af

Total Runoff Area = 1.529 ac Runoff Volume = 0.448 af Average Runoff Depth = 3.52"
83.43% Pervious = 1.276 ac 16.57% Impervious = 0.253 ac

ECCW_EXT

Type III 24-hr 50-Year Storm Rainfall=7.30"

Prepared by Attar Engineering

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Page 1

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance

Runoff Area=14,582 sf 33.08% Impervious Runoff Depth>4.90"
 Flow Length=143' Tc=3.8 min CN=82 Runoff=2.12 cfs 0.137 af

Subcatchment 2S: Abutting Entrance

Runoff Area=6,431 sf 7.57% Impervious Runoff Depth>4.24"
 Flow Length=90' Tc=5.9 min CN=76 Runoff=0.77 cfs 0.052 af

Subcatchment 3S: Back of Lot

Runoff Area=45,584 sf 12.55% Impervious Runoff Depth>4.35"
 Flow Length=308' Tc=4.5 min CN=77 Runoff=5.82 cfs 0.379 af

Link 1L: (new Link)

Inflow=2.12 cfs 0.137 af
 Primary=2.12 cfs 0.137 af

Link 2L: (new Link)

Inflow=0.77 cfs 0.052 af
 Primary=0.77 cfs 0.052 af

Link 3L: (new Link)

Inflow=5.82 cfs 0.379 af
 Primary=5.82 cfs 0.379 af

Total Runoff Area = 1.529 ac Runoff Volume = 0.568 af Average Runoff Depth = 4.46"
83.43% Pervious = 1.276 ac 16.57% Impervious = 0.253 ac

Summary for Subcatchment 1S: Entrance

[49] Hint: Tc<2dt may require smaller dt

Runoff = 2.12 cfs @ 12.06 hrs, Volume= 0.137 af, Depth> 4.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
* 4,824	98	Impervious
9,758	74	>75% Grass cover, Good, HSG C
14,582	82	Weighted Average
9,758		66.92% Pervious Area
4,824		33.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.5	37	0.0200	1.14		Sheet Flow, SF Smooth surfaces n= 0.011 P2= 3.30"
3.3	106	0.0060	0.54		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
3.8	143	Total			

Summary for Subcatchment 2S: Abutting Entrance

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.77 cfs @ 12.09 hrs, Volume= 0.052 af, Depth> 4.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
5,944	74	>75% Grass cover, Good, HSG C
* 487	98	Impervious
6,431	76	Weighted Average
5,944		92.43% Pervious Area
487		7.57% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
4.8	42	0.0200	0.15		Sheet Flow, SF Grass: Short n= 0.150 P2= 3.30"
1.1	48	0.0100	0.70		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
5.9	90	Total			

Summary for Subcatchment 3S: Back of Lot

[49] Hint: Tc<2dt may require smaller dt

Runoff = 5.82 cfs @ 12.07 hrs, Volume= 0.379 af, Depth> 4.35"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
* 5,722	98	Impervious
1,898	39	>75% Grass cover, Good, HSG A
16,462	74	>75% Grass cover, Good, HSG C
1,747	70	Woods, Good, HSG C
1,312	80	>75% Grass cover, Good, HSG D
18,443	77	Woods, Good, HSG D
45,584	77	Weighted Average
39,862		87.45% Pervious Area
5,722		12.55% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	66	0.0150	1.15		Sheet Flow, SF Smooth surfaces n= 0.011 P2= 3.30"
1.3	93	0.0300	1.21		Shallow Concentrated Flow, SCF Short Grass Pasture Kv= 7.0 fps
2.2	149	0.0500	1.12		Shallow Concentrated Flow, SCF Woodland Kv= 5.0 fps
4.5	308	Total			

Summary for Link 1L: (new Link)

Inflow Area = 0.335 ac, 33.08% Impervious, Inflow Depth > 4.90" for 50-Year Storm event
 Inflow = 2.12 cfs @ 12.06 hrs, Volume= 0.137 af
 Primary = 2.12 cfs @ 12.06 hrs, Volume= 0.137 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Summary for Link 2L: (new Link)

Inflow Area = 0.148 ac, 7.57% Impervious, Inflow Depth > 4.24" for 50-Year Storm event
 Inflow = 0.77 cfs @ 12.09 hrs, Volume= 0.052 af
 Primary = 0.77 cfs @ 12.09 hrs, Volume= 0.052 af, Atten= 0%, Lag= 0.0 min

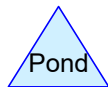
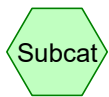
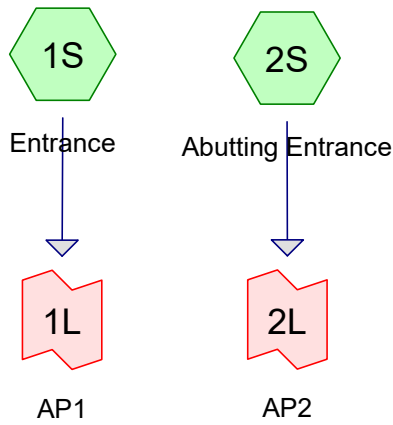
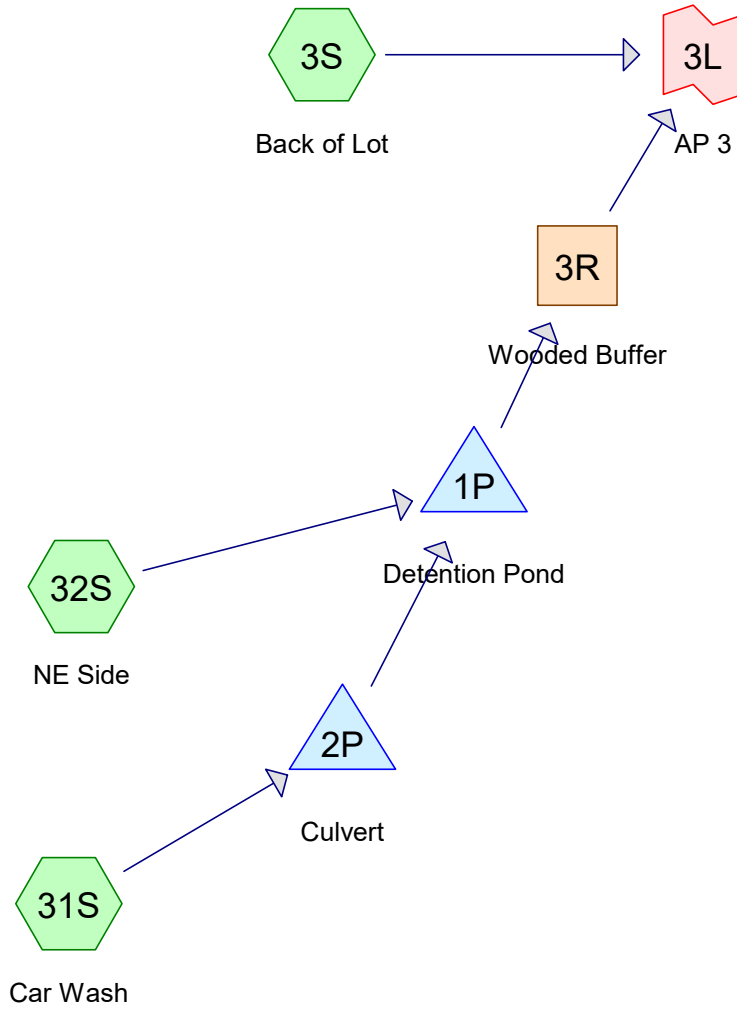
Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Summary for Link 3L: (new Link)

Inflow Area = 1.046 ac, 12.55% Impervious, Inflow Depth > 4.35" for 50-Year Storm event
Inflow = 5.82 cfs @ 12.07 hrs, Volume= 0.379 af
Primary = 5.82 cfs @ 12.07 hrs, Volume= 0.379 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

DEVELOPED CONDITION CALCULATIONS



Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.293	39	>75% Grass cover, Good, HSG A (3S, 31S, 32S)
0.239	74	>75% Grass cover, Good, HSG C (2S, 31S, 32S)
0.050	80	>75% Grass cover, Good, HSG D (32S)
0.640	98	Impervious (1S, 2S, 31S, 32S)
0.116	39	Pasture/grassland/range, Good, HSG A (1S)
0.229	98	Paved parking, HSG A (3S)
2.568	63	TOTAL AREA

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance Runoff Area=8,735 sf 42.07% Impervious Runoff Depth>0.54"
Flow Length=106' Tc=2.6 min CN=64 Runoff=0.12 cfs 0.009 af

Subcatchment 2S: Abutting Entrance Runoff Area=5,393 sf 9.03% Impervious Runoff Depth>1.12"
Flow Length=42' Slope=0.0200 '/' Tc=4.8 min CN=76 Runoff=0.17 cfs 0.012 af

Subcatchment 3S: Back of Lot Runoff Area=64,878 sf 15.36% Impervious Runoff Depth>0.08"
Flow Length=100' Slope=0.0500 '/' Tc=14.7 min CN=48 Runoff=0.02 cfs 0.010 af

Subcatchment 31S: Car Wash Runoff Area=21,322 sf 84.89% Impervious Runoff Depth>2.40"
Flow Length=125' Slope=0.0150 '/' Tc=1.6 min CN=93 Runoff=1.53 cfs 0.098 af

Subcatchment 32S: NE Side Runoff Area=11,514 sf 48.90% Impervious Runoff Depth>1.72"
Flow Length=90' Slope=0.0100 '/' Tc=1.4 min CN=85 Runoff=0.62 cfs 0.038 af

Reach 3R: Wooded Buffer Avg. Flow Depth=0.18' Max Vel=0.26 fps Inflow=1.55 cfs 0.128 af
n=0.400 L=100.0' S=0.0500 '/' Capacity=7.96 cfs Outflow=1.37 cfs 0.126 af

Pond 1P: Detention Pond Peak Elev=26.78' Storage=1,035 cf Inflow=2.15 cfs 0.135 af
12.0" Round Culvert n=0.013 L=20.0' S=0.0250 '/' Outflow=1.55 cfs 0.128 af

Pond 2P: Culvert Peak Elev=26.88' Storage=107 cf Inflow=1.53 cfs 0.098 af
12.0" Round Culvert n=0.013 L=112.0' S=0.0054 '/' Outflow=1.53 cfs 0.097 af

Link 1L: AP1 Inflow=0.12 cfs 0.009 af
Primary=0.12 cfs 0.009 af

Link 2L: AP2 Inflow=0.17 cfs 0.012 af
Primary=0.17 cfs 0.012 af

Link 3L: AP 3 Inflow=1.37 cfs 0.136 af
Primary=1.37 cfs 0.136 af

Total Runoff Area = 2.568 ac Runoff Volume = 0.167 af Average Runoff Depth = 0.78"
66.15% Pervious = 1.698 ac 33.85% Impervious = 0.869 ac

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance Runoff Area=8,735 sf 42.07% Impervious Runoff Depth>1.38"
Flow Length=106' Tc=2.6 min CN=64 Runoff=0.37 cfs 0.023 af

Subcatchment 2S: Abutting Entrance Runoff Area=5,393 sf 9.03% Impervious Runoff Depth>2.28"
Flow Length=42' Slope=0.0200 '/' Tc=4.8 min CN=76 Runoff=0.36 cfs 0.024 af

Subcatchment 3S: Back of Lot Runoff Area=64,878 sf 15.36% Impervious Runoff Depth>0.47"
Flow Length=100' Slope=0.0500 '/' Tc=14.7 min CN=48 Runoff=0.40 cfs 0.059 af

Subcatchment 31S: Car Wash Runoff Area=21,322 sf 84.89% Impervious Runoff Depth>3.88"
Flow Length=125' Slope=0.0150 '/' Tc=1.6 min CN=93 Runoff=2.40 cfs 0.158 af

Subcatchment 32S: NE Side Runoff Area=11,514 sf 48.90% Impervious Runoff Depth>3.08"
Flow Length=90' Slope=0.0100 '/' Tc=1.4 min CN=85 Runoff=1.10 cfs 0.068 af

Reach 3R: Wooded Buffer Avg. Flow Depth=0.23' Max Vel=0.31 fps Inflow=2.34 cfs 0.217 af
n=0.400 L=100.0' S=0.0500 '/' Capacity=7.96 cfs Outflow=2.20 cfs 0.215 af

Pond 1P: Detention Pond Peak Elev=27.11' Storage=1,488 cf Inflow=3.39 cfs 0.225 af
12.0" Round Culvert n=0.013 L=20.0' S=0.0250 '/' Outflow=2.34 cfs 0.217 af

Pond 2P: Culvert Peak Elev=27.20' Storage=152 cf Inflow=2.40 cfs 0.158 af
12.0" Round Culvert n=0.013 L=112.0' S=0.0054 '/' Outflow=2.31 cfs 0.157 af

Link 1L: AP1 Inflow=0.37 cfs 0.023 af
Primary=0.37 cfs 0.023 af

Link 2L: AP2 Inflow=0.36 cfs 0.024 af
Primary=0.36 cfs 0.024 af

Link 3L: AP 3 Inflow=2.56 cfs 0.274 af
Primary=2.56 cfs 0.274 af

Total Runoff Area = 2.568 ac Runoff Volume = 0.331 af Average Runoff Depth = 1.55"
66.15% Pervious = 1.698 ac 33.85% Impervious = 0.869 ac

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance Runoff Area=8,735 sf 42.07% Impervious Runoff Depth>2.22"
 Flow Length=106' Tc=2.6 min CN=64 Runoff=0.61 cfs 0.037 af

Subcatchment 2S: Abutting Entrance Runoff Area=5,393 sf 9.03% Impervious Runoff Depth>3.32"
 Flow Length=42' Slope=0.0200 '/' Tc=4.8 min CN=76 Runoff=0.52 cfs 0.034 af

Subcatchment 3S: Back of Lot Runoff Area=64,878 sf 15.36% Impervious Runoff Depth>0.96"
 Flow Length=100' Slope=0.0500 '/' Tc=14.7 min CN=48 Runoff=1.08 cfs 0.120 af

Subcatchment 31S: Car Wash Runoff Area=21,322 sf 84.89% Impervious Runoff Depth>5.08"
 Flow Length=125' Slope=0.0150 '/' Tc=1.6 min CN=93 Runoff=3.11 cfs 0.207 af

Subcatchment 32S: NE Side Runoff Area=11,514 sf 48.90% Impervious Runoff Depth>4.24"
 Flow Length=90' Slope=0.0100 '/' Tc=1.4 min CN=85 Runoff=1.49 cfs 0.093 af

Reach 3R: Wooded Buffer Avg. Flow Depth=0.26' Max Vel=0.33 fps Inflow=2.81 cfs 0.291 af
 n=0.400 L=100.0' S=0.0500 '/' Capacity=7.96 cfs Outflow=2.70 cfs 0.289 af

Pond 1P: Detention Pond Peak Elev=27.38' Storage=1,907 cf Inflow=4.14 cfs 0.299 af
 12.0" Round Culvert n=0.013 L=20.0' S=0.0250 '/' Outflow=2.81 cfs 0.291 af

Pond 2P: Culvert Peak Elev=27.51' Storage=244 cf Inflow=3.11 cfs 0.207 af
 12.0" Round Culvert n=0.013 L=112.0' S=0.0054 '/' Outflow=2.72 cfs 0.206 af

Link 1L: AP1 Inflow=0.61 cfs 0.037 af
 Primary=0.61 cfs 0.037 af

Link 2L: AP2 Inflow=0.52 cfs 0.034 af
 Primary=0.52 cfs 0.034 af

Link 3L: AP 3 Inflow=3.78 cfs 0.409 af
 Primary=3.78 cfs 0.409 af

Total Runoff Area = 2.568 ac Runoff Volume = 0.491 af Average Runoff Depth = 2.30"
66.15% Pervious = 1.698 ac 33.85% Impervious = 0.869 ac

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Entrance Runoff Area=8,735 sf 42.07% Impervious Runoff Depth>2.99"
Flow Length=106' Tc=2.6 min CN=64 Runoff=0.83 cfs 0.050 af

Subcatchment 2S: Abutting Entrance Runoff Area=5,393 sf 9.03% Impervious Runoff Depth>4.24"
Flow Length=42' Slope=0.0200 '/' Tc=4.8 min CN=76 Runoff=0.66 cfs 0.044 af

Subcatchment 3S: Back of Lot Runoff Area=64,878 sf 15.36% Impervious Runoff Depth>1.47"
Flow Length=100' Slope=0.0500 '/' Tc=14.7 min CN=48 Runoff=1.84 cfs 0.183 af

Subcatchment 31S: Car Wash Runoff Area=21,322 sf 84.89% Impervious Runoff Depth>6.09"
Flow Length=125' Slope=0.0150 '/' Tc=1.6 min CN=93 Runoff=3.70 cfs 0.248 af

Subcatchment 32S: NE Side Runoff Area=11,514 sf 48.90% Impervious Runoff Depth>5.24"
Flow Length=90' Slope=0.0100 '/' Tc=1.4 min CN=85 Runoff=1.82 cfs 0.115 af

Reach 3R: Wooded Buffer Avg. Flow Depth=0.28' Max Vel=0.35 fps Inflow=3.14 cfs 0.355 af
n=0.400 L=100.0' S=0.0500 '/' Capacity=7.96 cfs Outflow=3.05 cfs 0.352 af

Pond 1P: Detention Pond Peak Elev=27.61' Storage=2,293 cf Inflow=4.76 cfs 0.363 af
12.0" Round Culvert n=0.013 L=20.0' S=0.0250 '/' Outflow=3.14 cfs 0.355 af

Pond 2P: Culvert Peak Elev=27.78' Storage=367 cf Inflow=3.70 cfs 0.248 af
12.0" Round Culvert n=0.013 L=112.0' S=0.0054 '/' Outflow=3.06 cfs 0.247 af

Link 1L: AP1 Inflow=0.83 cfs 0.050 af
Primary=0.83 cfs 0.050 af

Link 2L: AP2 Inflow=0.66 cfs 0.044 af
Primary=0.66 cfs 0.044 af

Link 3L: AP 3 Inflow=4.86 cfs 0.535 af
Primary=4.86 cfs 0.535 af

Total Runoff Area = 2.568 ac Runoff Volume = 0.640 af Average Runoff Depth = 2.99"
66.15% Pervious = 1.698 ac 33.85% Impervious = 0.869 ac

Summary for Subcatchment 1S: Entrance

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.83 cfs @ 12.05 hrs, Volume= 0.050 af, Depth> 2.99"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
* 3,675	98	Impervious
5,060	39	Pasture/grassland/range, Good, HSG A
8,735	64	Weighted Average
5,060		57.93% Pervious Area
3,675		42.07% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	38	0.0100	0.87		Sheet Flow, SF Smooth surfaces n= 0.011 P2= 3.30"
1.9	68	0.0070	0.59		Shallow Concentrated Flow, SCF Short Grass Pasture Kv= 7.0 fps
2.6	106	Total			

Summary for Subcatchment 2S: Abutting Entrance

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.66 cfs @ 12.07 hrs, Volume= 0.044 af, Depth> 4.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
* 487	98	Impervious
4,906	74	>75% Grass cover, Good, HSG C
5,393	76	Weighted Average
4,906		90.97% Pervious Area
487		9.03% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
4.8	42	0.0200	0.15		Sheet Flow, SF Grass: Short n= 0.150 P2= 3.30"

Summary for Subcatchment 3S: Back of Lot

Runoff = 1.84 cfs @ 12.24 hrs, Volume= 0.183 af, Depth> 1.47"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
9,965	98	Paved parking, HSG A
54,913	39	>75% Grass cover, Good, HSG A
64,878	48	Weighted Average
54,913		84.64% Pervious Area
9,965		15.36% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.7	100	0.0500	0.11		Sheet Flow, SF Woods: Light underbrush n= 0.400 P2= 3.30"

Summary for Subcatchment 31S: Car Wash

[49] Hint: Tc<2dt may require smaller dt

Runoff = 3.70 cfs @ 12.02 hrs, Volume= 0.248 af, Depth> 6.09"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

Area (sf)	CN	Description
* 18,100	98	Impervious
691	39	>75% Grass cover, Good, HSG A
2,531	74	>75% Grass cover, Good, HSG C
21,322	93	Weighted Average
3,222		15.11% Pervious Area
18,100		84.89% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.6	125	0.0150	1.30		Sheet Flow, SF Smooth surfaces n= 0.011 P2= 3.30"

Summary for Subcatchment 32S: NE Side

[49] Hint: Tc<2dt may require smaller dt

Runoff = 1.82 cfs @ 12.02 hrs, Volume= 0.115 af, Depth> 5.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 50-Year Storm Rainfall=7.30"

	Area (sf)	CN	Description
*	5,630	98	Impervious
	729	39	>75% Grass cover, Good, HSG A
	2,979	74	>75% Grass cover, Good, HSG C
	2,176	80	>75% Grass cover, Good, HSG D
	11,514	85	Weighted Average
	5,884		51.10% Pervious Area
	5,630		48.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.4	90	0.0100	1.04		Sheet Flow, SF Smooth surfaces n= 0.011 P2= 3.30"

Summary for Reach 3R: Wooded Buffer

[79] Warning: Submerged Pond 1P Primary device # 1 OUTLET by 0.28'

Inflow Area = 0.754 ac, 72.27% Impervious, Inflow Depth > 5.65" for 50-Year Storm event
 Inflow = 3.14 cfs @ 12.16 hrs, Volume= 0.355 af
 Outflow = 3.05 cfs @ 12.29 hrs, Volume= 0.352 af, Atten= 3%, Lag= 8.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 0.35 fps, Min. Travel Time= 4.7 min
 Avg. Velocity = 0.12 fps, Avg. Travel Time= 13.6 min

Peak Storage= 874 cf @ 12.21 hrs
 Average Depth at Peak Storage= 0.28'
 Bank-Full Depth= 0.50' Flow Area= 15.8 sf, Capacity= 7.96 cfs

30.00' x 0.50' deep channel, n= 0.400 Sheet flow: Woods+light brush
 Side Slope Z-value= 3.0 ' Top Width= 33.00'
 Length= 100.0' Slope= 0.0500 '
 Inlet Invert= 25.50', Outlet Invert= 20.50'



Summary for Pond 1P: Detention Pond

[81] Warning: Exceeded Pond 2P by 0.73' @ 12.20 hrs

Inflow Area = 0.754 ac, 72.27% Impervious, Inflow Depth > 5.78" for 50-Year Storm event
 Inflow = 4.76 cfs @ 12.04 hrs, Volume= 0.363 af
 Outflow = 3.14 cfs @ 12.16 hrs, Volume= 0.355 af, Atten= 34%, Lag= 6.9 min
 Primary = 3.14 cfs @ 12.16 hrs, Volume= 0.355 af

ECCW_DEV

Type III 24-hr 50-Year Storm Rainfall=7.30"

Prepared by Attar Engineering

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Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 27.61' @ 12.16 hrs Surf.Area= 1,802 sf Storage= 2,293 cf

Plug-Flow detention time= 25.1 min calculated for 0.353 af (97% of inflow)
 Center-of-Mass det. time= 15.8 min (764.6 - 748.9)

Volume	Invert	Avail.Storage	Storage Description
#1	25.50'	5,563 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
25.50	115	0	0
26.00	812	232	232
27.00	1,379	1,096	1,327
28.00	2,075	1,727	3,054
29.00	2,942	2,509	5,563

Device	Routing	Invert	Outlet Devices
#1	Primary	26.00'	12.0" Round Culvert L= 20.0' CPP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 26.00' / 25.50' S= 0.0250 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf

Primary OutFlow Max=3.13 cfs @ 12.16 hrs HW=27.60' (Free Discharge)
 ↑**1=Culvert** (Inlet Controls 3.13 cfs @ 3.99 fps)

Summary for Pond 2P: Culvert

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.489 ac, 84.89% Impervious, Inflow Depth > 6.09" for 50-Year Storm event
 Inflow = 3.70 cfs @ 12.02 hrs, Volume= 0.248 af
 Outflow = 3.06 cfs @ 12.07 hrs, Volume= 0.247 af, Atten= 17%, Lag= 2.7 min
 Primary = 3.06 cfs @ 12.07 hrs, Volume= 0.247 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 27.78' @ 12.07 hrs Surf.Area= 526 sf Storage= 367 cf

Plug-Flow detention time= 4.8 min calculated for 0.247 af (100% of inflow)
 Center-of-Mass det. time= 2.7 min (743.9 - 741.2)

Volume	Invert	Avail.Storage	Storage Description
#1	25.50'	1,091 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
25.50	50	0	0
27.00	110	120	120
28.00	645	378	498
28.50	1,727	593	1,091

Device	Routing	Invert	Outlet Devices
#1	Primary	26.10'	12.0" Round Culvert L= 112.0' CPP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 26.10' / 25.50' S= 0.0054 '/ Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf

Primary OutFlow Max=3.01 cfs @ 12.07 hrs HW=27.74' (Free Discharge)

←1=Culvert (Barrel Controls 3.01 cfs @ 3.84 fps)

Summary for Link 1L: AP1

Inflow Area = 0.201 ac, 42.07% Impervious, Inflow Depth > 2.99" for 50-Year Storm event
 Inflow = 0.83 cfs @ 12.05 hrs, Volume= 0.050 af
 Primary = 0.83 cfs @ 12.05 hrs, Volume= 0.050 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Summary for Link 2L: AP2

Inflow Area = 0.124 ac, 9.03% Impervious, Inflow Depth > 4.24" for 50-Year Storm event
 Inflow = 0.66 cfs @ 12.07 hrs, Volume= 0.044 af
 Primary = 0.66 cfs @ 12.07 hrs, Volume= 0.044 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Summary for Link 3L: AP 3

Inflow Area = 2.243 ac, 34.48% Impervious, Inflow Depth > 2.86" for 50-Year Storm event
 Inflow = 4.86 cfs @ 12.26 hrs, Volume= 0.535 af
 Primary = 4.86 cfs @ 12.26 hrs, Volume= 0.535 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

QUANTITY CALCULATIONS

STORM EVENT

		<u>2</u>	<u>10</u>	<u>25</u>	<u>50</u>	
EXISTING	AP 1	0.67	1.24	1.72	2.12	(cfs)
	AP 2	0.20	0.42	0.60	0.77	
	AP 3	1.58	3.20	4.60	5.82	

DEVELOPED	AP 1	0.12	0.37	0.61	0.83	(cfs)
	AP 2	0.17	0.36	0.52	0.66	
	AP 3	1.37	2.56	3.78	4.86	

CHANGE	AP 1	-0.55	-0.87	-1.11	-1.29	(cfs)
	AP 2	-0.03	-0.06	-0.08	-0.11	
	AP 3	-0.21	-0.64	-0.82	-0.96	

OPERATION AND MAINTENANCE PROGRAM



**ELIOT COMMONS CAR WASH
17 LEVESQUE DRIVE
ELIOT, MAINE**

OPERATION AND MAINTENANCE PLAN STORMWATER MANAGEMENT BMP's

This project contains specific Best Management Practices (BMP's) for the conveyance, storage, and treatment of stormwater and the prevention of erosion. These BMP's consist of swales, detention ponds, culverts and buffers. All components should be inspected quarterly, and after every significant rain event of 1" in any 24-hour period.

The party responsible for implementing this Operation and Maintenance (O&M) Plan shall be the property owner, to be Shawn Moore after project approval.

Inspections associated with this O&M plan shall be conducted by individuals with knowledge of erosion and sedimentation control.

Swales

All swales should be inspected for accumulation of debris, which could adversely affect the function of this BMP. These areas should be cleaned annually and maintained to have gradual slopes, which prevent channeling of stormwater and erosion of the bottom and sides of the swales.

Culverts

Culvert inlets and outlets should be inspected for debris, which could clog the BMP. Additionally, the placement of riprap should be inspected to ensure that all areas remain smooth and no areas exhibit erosion in the form of rills or gullies.

Detention Basins

Detention ponds shall be inspected to ensure that there is no channeling of stormwater and that no debris accumulates within the detention areas. The vegetative cover conditions shall be maintained. The inlets and outlets shall be inspected for erosion and any evidence of debris that could clog the outlet structures and culverts. Emergency spillways and level spreaders shall be inspected for any evidence of rilling and channeling and shall be maintained to promote a level, sheet-flow discharge. Pond embankments and side slopes shall be inspected for erosion, destabilization of side slopes and evidence of embankment settling; corrective action shall be taken immediately to correct such issues. The height of grass shall be maintained at a maximum of 12"; mowing shall be limited to no more than two times during the growing season.

Snow Removal

Snow shall be stockpiled only in the approved snow storage areas. Plowing of snow into wetland areas or detention ponds shall be avoided. Additionally, a mostly sand mix (reduced salt) shall be applied during winter months to prevent excessive salt from leaching into wetland areas. Excess sand shall be removed from the storage areas, all paved surfaces and adjacent areas each spring.

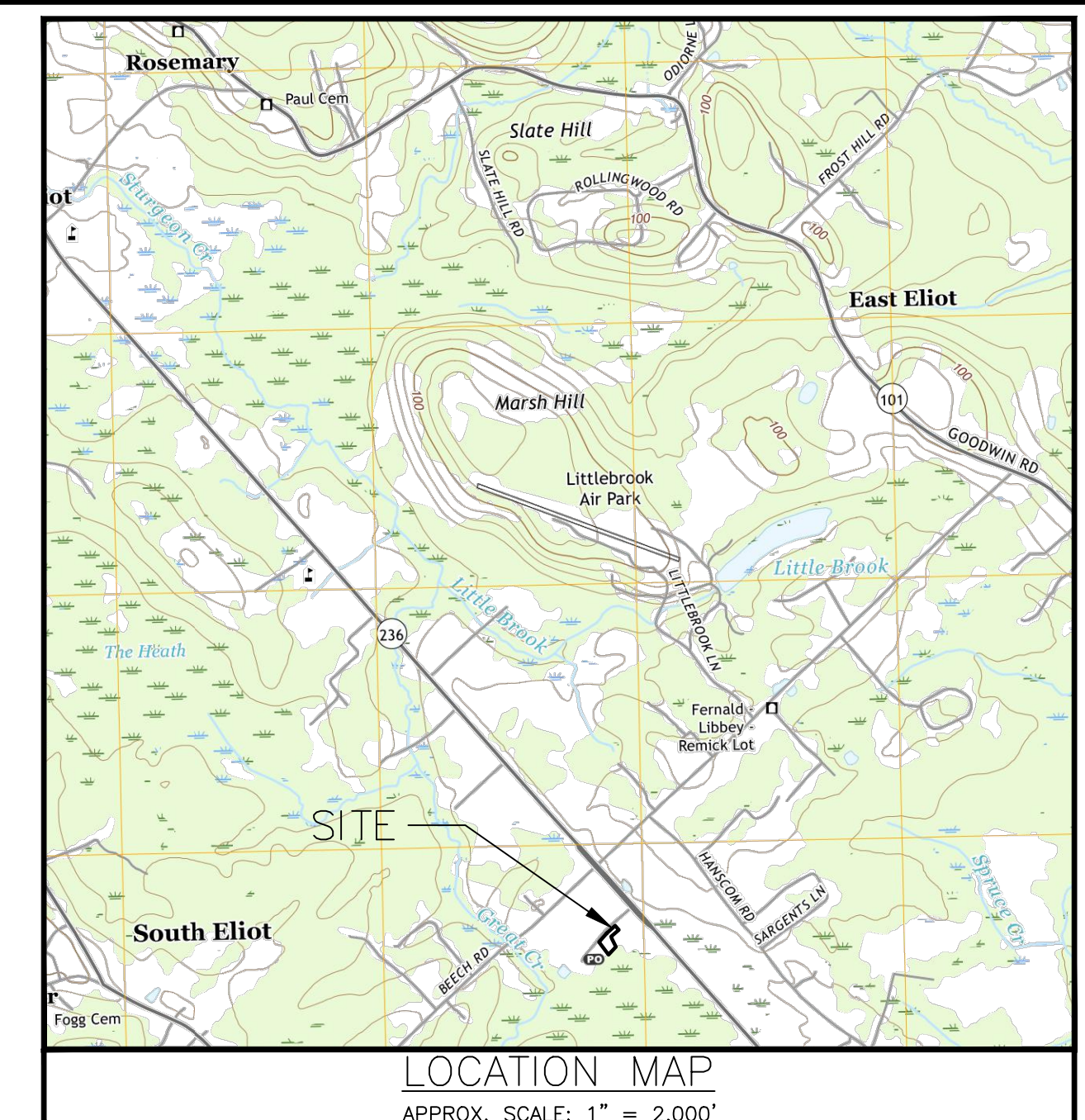
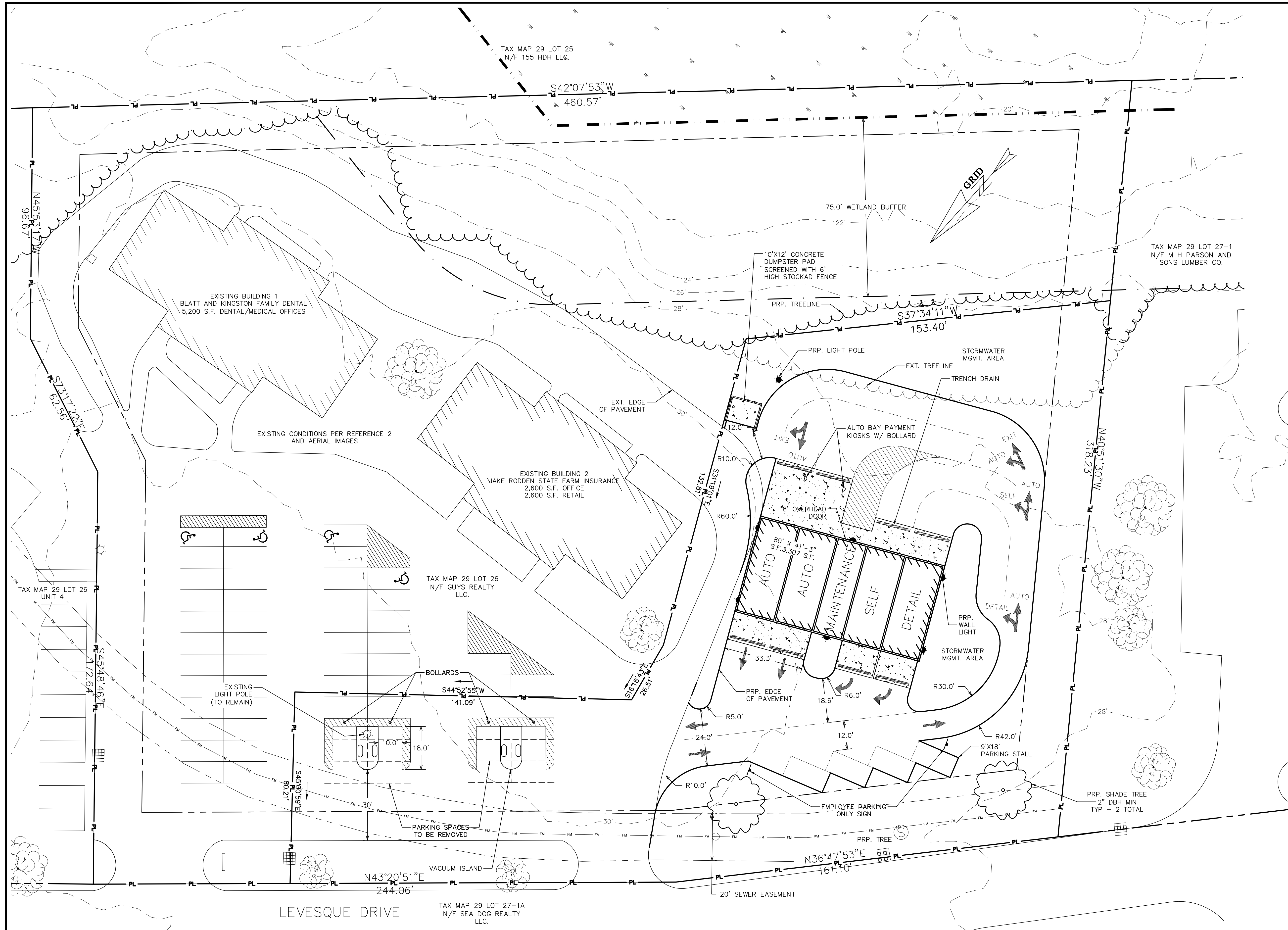
Seeding, Fertilizing and Mulching

All exposed soil materials and stockpiles must be either temporarily or permanently seeded, fertilized and mulched in accordance with plan specifications. This is one of the most important features of the Erosion Control Plan, which will provide both temporary and permanent stabilization. Eroded or damaged lawn areas must be repaired until a 75% effective growth of vegetation is established and permanently maintained.

Record Keeping

Routine maintenance and inspections will be accomplished by the future property owner [Shawn Moore, 28 Schooner Road, Scarborough, ME], or third party contracted by the property owner. All inspections accomplished in accordance with this program shall be documented on the attached Inspection & Maintenance Log. Copies of the Log shall be kept by the property owner or condominium association and be made available to the Town of Eliot, upon request. All records associated with this O&M plan shall be retained for a minimum of 5 years.

Prepared by: Kenneth A. Wood, P.E.



GENERAL NOTES

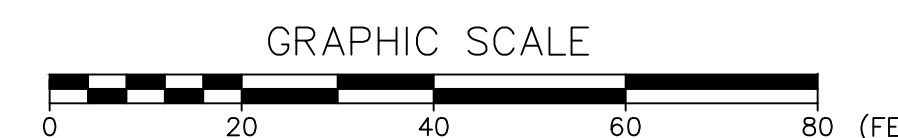
- THIS PLAN PROVIDES A SITE PLAN FOR THE CONSTRUCTION OF A CAR WASH BUILDING TO BE ADDED TO THE ELIOT COMMONS LOT LOCATED AT 17 LEVESQUE DRIVE IN ELIOT, MAINE. THE PROPOSED PLAN INCLUDES 4 BAY AUTO WASH FACILITY, TWO VACUUM BAY ISLANDS, AND ASSOCIATED PARKING WITH USE SIMILAR TO AN AUTO REPAIR GARAGE AS DEFINED BY §45-290.
- THE SITE IS IDENTIFIED ON THE TOWN OF ELIOT TAX ASSESSOR'S MAP 29 AS LOT 26 IN THE COMMERCIAL INDUSTRIAL DISTRICT AND MEASURES APPROXIMATELY 4.47 ACRES. THESE PLANS FOCUS ON A 1.1 ACRE PLAT LOCATED WITHIN THE LARGER PARCEL.
- BOUNDARY LINES AND EXISTING CONDITIONS WERE PROVIDED BY REFERENCE 2.
- DIMENSIONAL REQUIREMENTS
COMMERCIAL/INDUSTRIAL (C/I) DISTRICT AS PER §45-405
MINIMUM LOT SIZE 3 ACRES
FRONT YARD SETBACK 30 FEET
SIDE YARD SETBACK 20 FEET
REAR YARD SETBACK 20 FEET
MAXIMUM BUILDING HEIGHT 55 FEET
MAXIMUM LOT COVERAGE 50%
- COVERAGE CALCULATIONS:
TOTAL LOT SIZE: 139,800 S.F.
EXISTING BUILDING COVERAGE: 10,400 S.F. = 7.4% LOT COVERAGE
PROPOSED BUILDING COVERAGE: 13,707 S.F. = 9.8% LOT COVERAGE
- PARKING CALCULATION:
COMMERCIAL/INDUSTRIAL USES §45-495(11): (1 SPACE / EMPLOYEE) X 2 EMPLOYEES ON LARGEST SHIFT = 2 SPACES
SUMMARY: 2 SPACES REQUIRED WITH 12 PROVIDED.
- IMPERVIOUS SURFACE: THE PROJECT WILL CREATE 17,650 S.F. OF IMPERVIOUS SURFACE.

REFERENCES

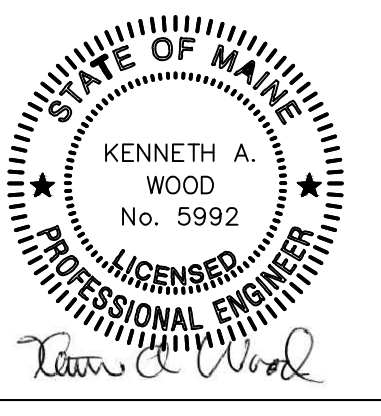
- "GENERIC 4 BAY DRAWING" FOR SHAWN MOORE. PREPARED BY CAR WASH PROS.
- "CONDOMINIUM PLAT - ELIOT COMMONS PROFESSIONAL PARK, LEVESQUE DRIVE, ELIOT, MAINE" PREPARED BY ATTAR ENGINEERING, INC. DATED 9/14/2020. YCRD BOOK 467, PAGE 4.
- "AS - BUILT - ELIOT COMMONS ROUTE 236 ELIOT, MAINE" FOR ROBERT P. LEVESQUE. PREPARED BY RICHARD A. MANTHORNE DATED JANUARY 1988

INDEX OF SHEETS:

- SITE PLAN
- EXISTING CONDITIONS PLAN
- GRADING + UTILITY PLAN
- EXISTING STORMWATER PLAN
- PROPOSED STORMWATER PLAN
- SITE DETAILS PLAN
- SITE DETAILS PLAN
- LIGHTING PLAN



NO.	DESCRIPTION	DATE



SITE PLAN
ELIOT COMMONS CAR WASH
17 LEVESQUE DRIVE, ELIOT, ME 03903

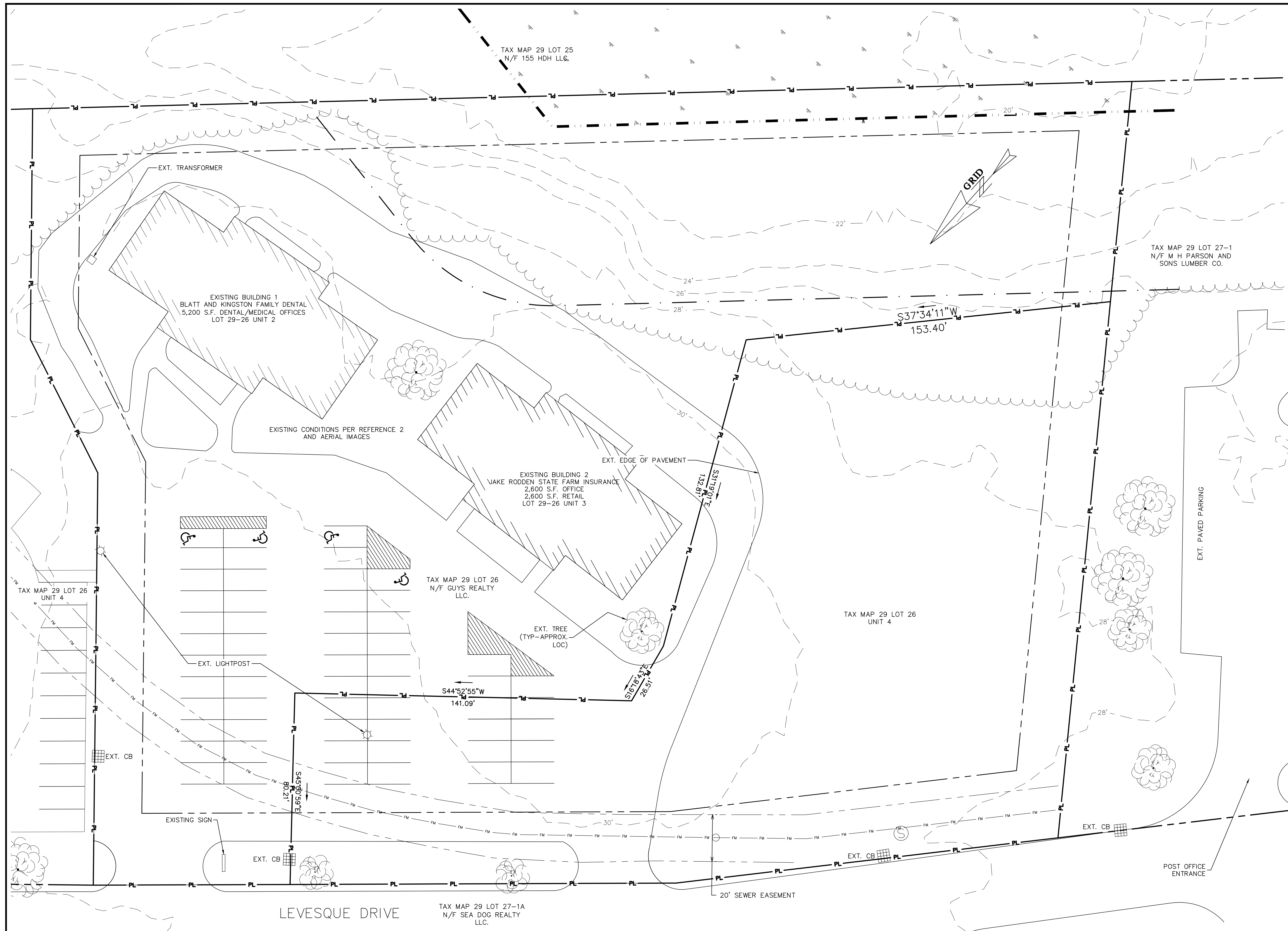
TAX MAP 029, LOT 26

FOR:
SHAWN MOORE
28 SCHOONER RD
SCARBOROUGH, ME 04074

ATTAR ENGINEERING, INC.
CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING
1284 STATE ROAD - ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

SCALE: 1" = 20'
DATE: 4/27/2023

APPROVED BY: _____
DRAWN BY: WRP
REVISION DATE: - - -
JOB NO: C381-22 FILE: ELIOT COMMONS CAR WASH.DWG SHEET: 1



LEGEND	
EXISTING CONTOUR	---XXX---
FINAL CONTOUR	—XXX—
WETLAND BOUNDARY	WETLAND ↓ ↓ ↓
UTILITY POLE	EXT. ○ PRP. ●
EXT. WATER	—EW—
EXT. SEWER	—ES—
EXT. OVERHEAD UTIL.	—EOHU—
EXT. UNDERGROUND UTIL.	—EUU—
PRP. WATER	—PW—
PRP. SEWER	—PS—
PRP. FORCE MAIN	—FM—
PRP. UTILITY	—P UG/OHU—
WATER VALVE	EXT. ⊕ PRP. ⊗
WATER SHUTOFF	⊕
SEWER MANHOLE	⊙
LIGHT POLE	EXT. ⚡ PRP. ⚡
SILTATION BARRIER	—X—
PROPOSED FENCE	—○—
EXISTING FENCE	—○—
ASPHALT CURB	—█—
EXISTING CURB	—█—
PROPOSED GUARDRAIL	—□—
BOLLARD	○
FIRE HYDRANT	EXT. ⊗ PRP. ⊗
DIRECTION OF DRAINAGE	→
FOUND IRON ROD	⊙
WELL	⊕
LANDSCAPED AREA	LA
TREELINE	EXT. ~ PRP. ~

LEVESQUE DRIVE

TAX MAP 29 LOT 27-1A
N/F SEA DOG REALTY LLC.

20' SEWER EASEMENT

TAX MAP 029, LOT 26

EXISTING CONDITIONS PLAN
ELIOT COMMONS CAR WASH
17 LEVESQUE DRIVE, ELIOT, ME 03903

FOR: SHAWN MOORE
28 SCHOONER RD
SCARBOROUGH, ME 04074

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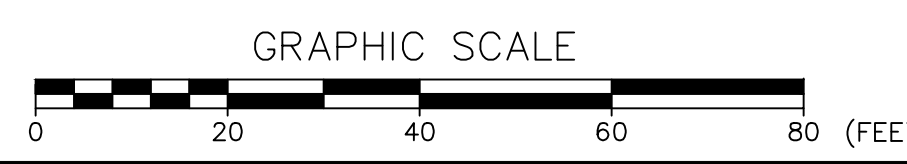
SCALE:
1" = 20'
DATE:
4/27/2023

APPROVED BY:

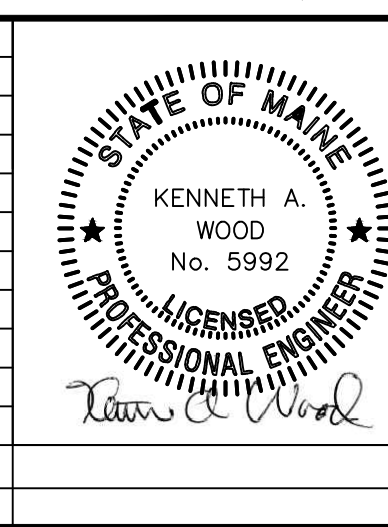
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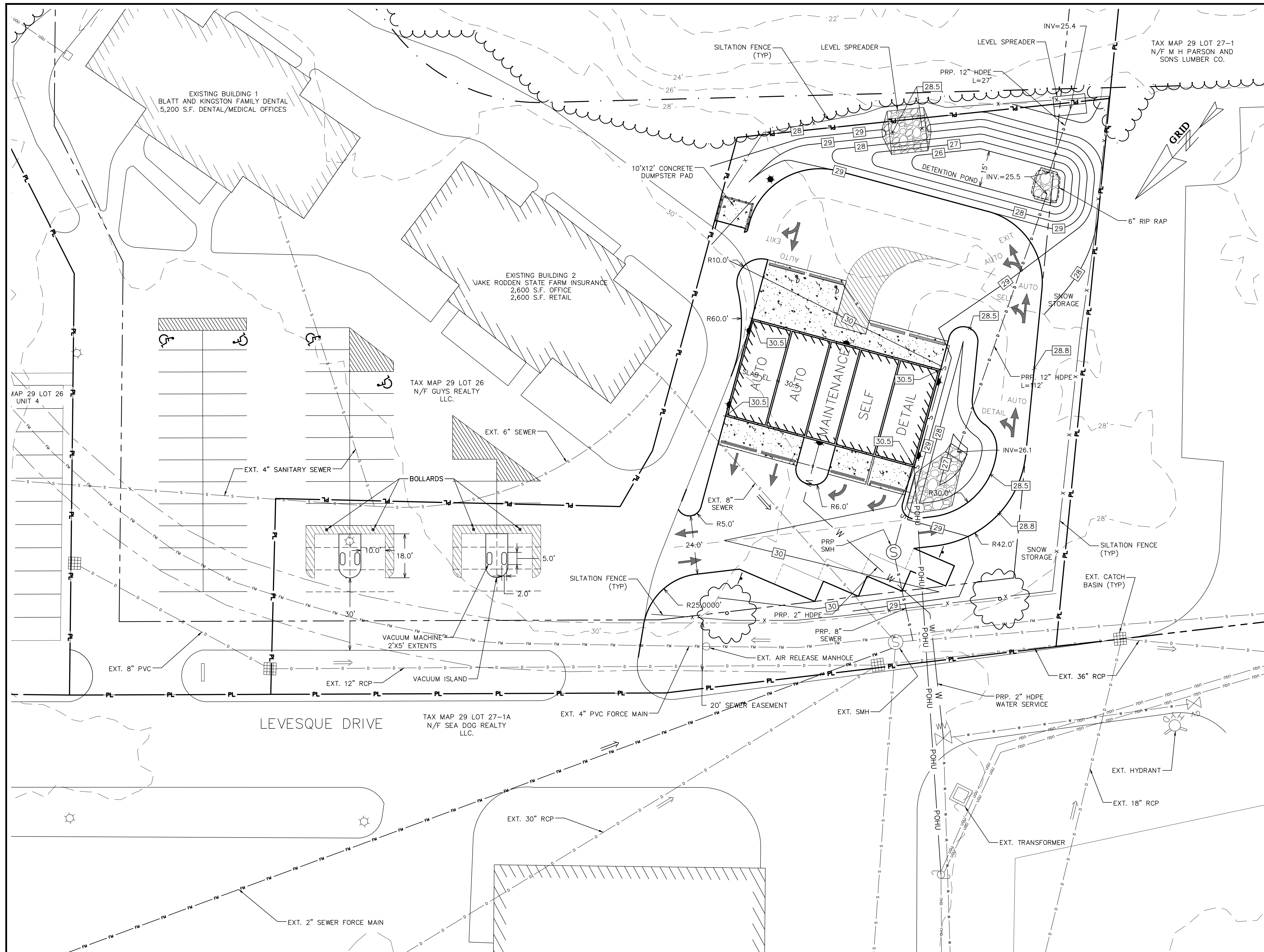
REVISION DATE:

JOB NO: C381-22 FILE: ELIOT COMMONS CAR WASH.DWG SHEET: 2



NO.	DESCRIPTION	DATE

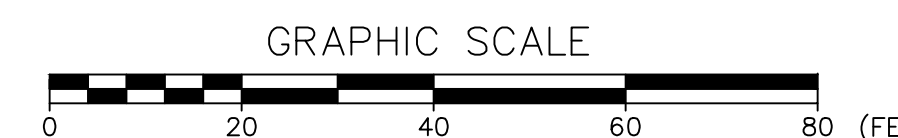




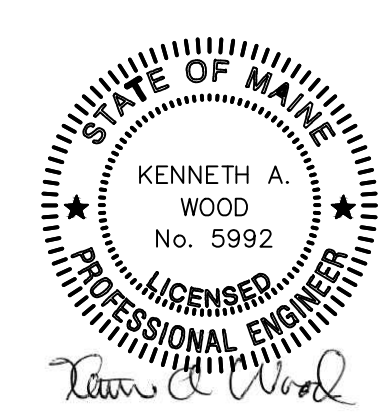
GENERAL NOTES

1. ALL SEWER LINES TO BE PVC (SDR 35). ALL ASPECTS OF THE SEWER SYSTEM INCLUDING MANHOLES AND CONSTRUCTION METHODS SHALL MEET CURRENT KITTERY SEWER DISTRICT STANDARDS. ALL SEWER LINES, MANHOLES AND PUMP STATIONS SHALL BE TESTED IN ACCORDANCE WITH CURRENT KSD REQUIREMENTS.
2. ALL STORM DRAINS SHALL BE ADS N-12 (HDPE) OR APPROVED EQUAL (UNLESS NOTED OTHERWISE). PROPER TRENCHING AND BACKFILLING ARE VITAL TO THE LONG TERM PERFORMANCE AND DURABILITY OF HDPE CULVERT INSTALLATIONS. SEE HDPE CULVERT TRENCH DETAIL.
3. WATER MAINS, VALVES, FITTINGS AND CONNECTIONS SHALL MEET CURRENT KITTERY WATER DISTRICT STANDARDS. ALL WATER LINES SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH CURRENT KWD STANDARDS. MATERIALS SPECIFIED MAY BE SUBSTITUTED WITH EQUAL MATERIALS WITH THE APPROVAL OF KWD.
4. A MINIMUM OF 5.0' OF COVER SHALL BE MAINTAINED OVER ALL WATER LINES.
5. PROPOSED OVERHEAD/UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. CENTRAL MAINE POWER WILL PREPARE THE ELECTRICAL PLAN FOR CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH CMP PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR MUST CONTACT DIG SAFE AND ALL LOCAL UTILITIES PRIOR TO THE START OF CONSTRUCTION TO VERIFY THE LOCATION OF EXISTING SUBSURFACE UTILITIES AND CONDITIONS. LOCATING AND PROTECTING ANY UNDERGROUND OR ABOVE GROUND UTILITY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND	
EXISTING CONTOUR	---XXX---
FINAL CONTOUR	---XXX---
WETLAND BOUNDARY	---WETLAND---
UTILITY POLE	EXT. C O PRP. C
EXT. WATER	---EW---
EXT. SEWER	---ES---
EXT. OVERHEAD UTIL.	---EOHU---
EXT. UNDERGROUND UTIL.	---Euu---
PRP. WATER	---PW---
PRP. SEWER	---PS---
PRP. FORCE MAIN	---FM---
PRP. UTILITY	---P UG/OHU---
WATER VALVE	EXT. ⊕ PRP. ⊗
WATER SHUTOFF	⊕
SEWER MANHOLE	⊙
LIGHT POLE	EXT. ⊙ PRP. ⊙
SILTATION BARRIER	---X---
PROPOSED FENCE	---O---O---
EXISTING FENCE	---O---
ASPHALT CURB	---XXX---
EXISTING CURB	------
PROPOSED GUARDRAIL	---O---O---
BOLLARD	○
FIRE HYDRANT	EXT. ⊕ PRP. ⊕
DIRECTION OF DRAINAGE	→
FOUND IRON ROD	⊙
WELL	⊙
LANDSCAPED AREA	LA
TREELINE	EXT. ~ PRP. ~



NO.	DESCRIPTION	DATE



TAX MAP 029, LOT 26

GRADING AND UTILITY PLAN
ELIOT COMMONS CAR WASH
17 LEVESQUE DRIVE, ELIOT, ME 03903

FOR: SHAWN MOORE
28 SCHOONER RD
SCARBOROUGH, ME 04074

ATTAR ENGINEERING, INC.
CIVIL • STRUCTURAL • MARINE • SURVEYING
1284 STATE ROAD - ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

SCALE: 1" = 20'
DATE: 4/27/2023

APPROVED BY: _____
DRAWN BY: WRP
REVISION DATE: - - -
JOB NO: C381-22 FILE: ELIOT COMMONS CAR WASH.DWG SHEET: 3

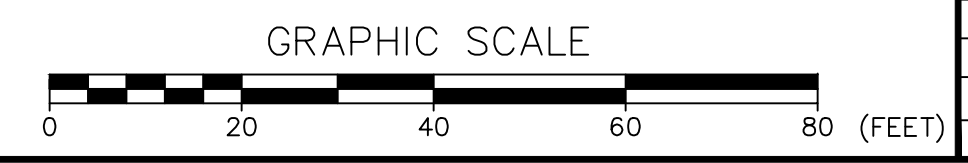


SOILS LEGEND
 AdC - ADAMS LOAMY SAND, 8% TO 15% SLOPES, HSG A
 Bm - BIDDEFORD MUCKY PEAT, HSG D
 BuB - BUXTON SILT LOAM, 3% TO 8% SLOPES, HSG C/D
 SOURCE: SOIL SURVEY OF YORK COUNTY, MAINE

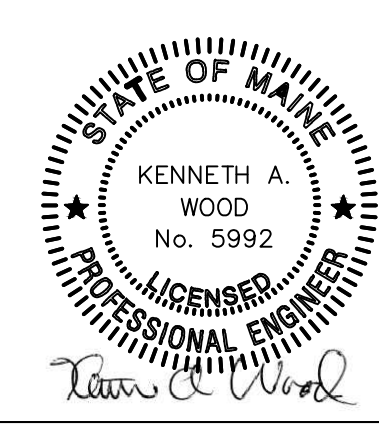
FLOW TYPES
 SF - SHEET FLOW
 SCF - SHALLOW CONCENTRATED FLOW
 CF - CHANNEL FLOW

- 1S SUBCATCHMENT
- 1R REACH
- 1 POND
- 1L ANALYSIS POINT

LEGEND	
EXT. MAJOR CONTOUR	---XXX---
EXT. MINOR CONTOUR	- - - - -XXX- - - - -
EXT. SUBCATCHMENT	—————
EXT. To FLOW LINE	○—————→
EXT. To GRADE CALC	○—————→ SF=XXX' @ X.XXX%
SOIL TYPE BOUNDARY	—————



NO.	DESCRIPTION	DATE



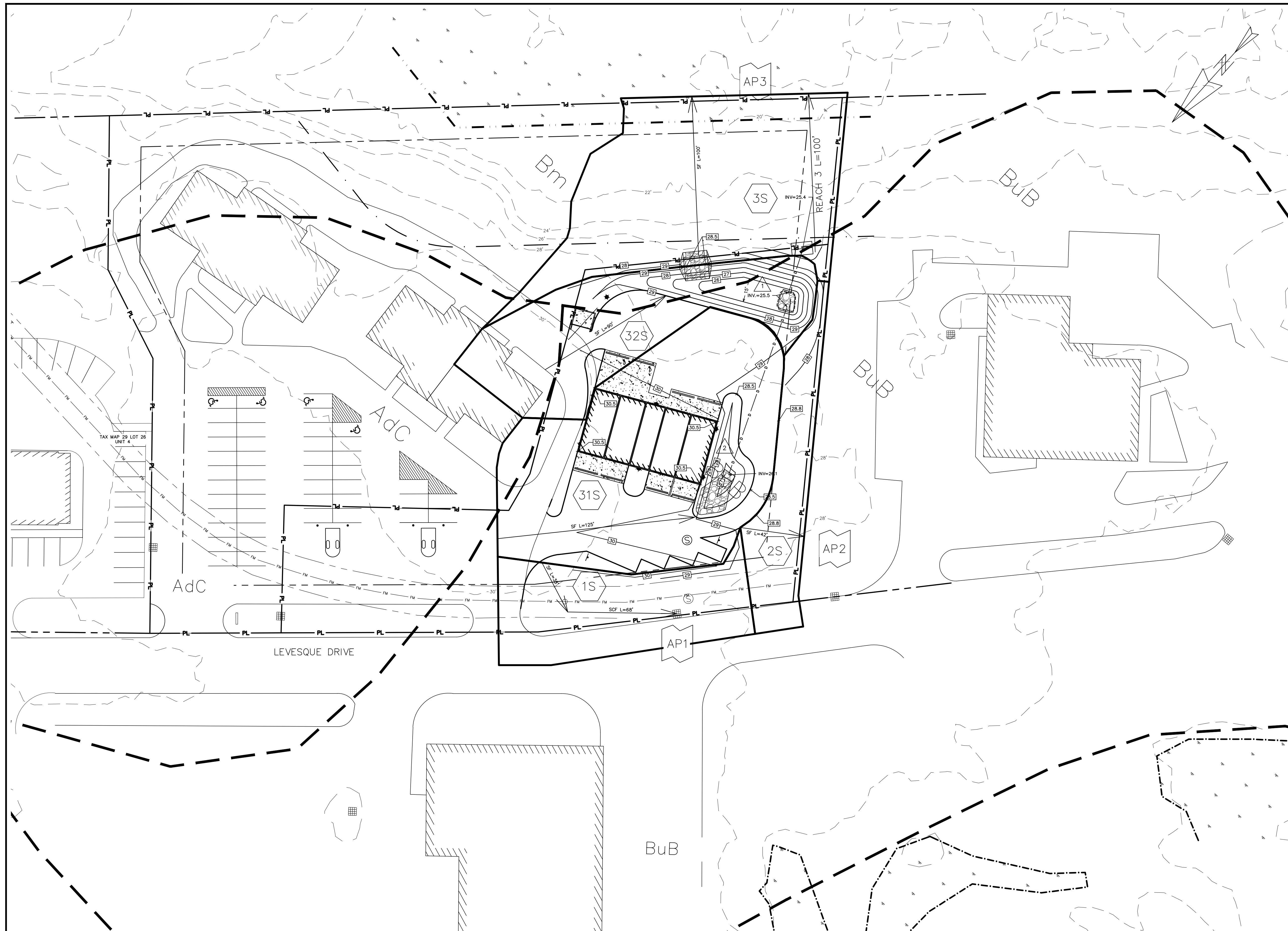
TAX MAP 029, LOT 26

EXISTING STORMWATER PLAN
 ELIOT COMMONS CAR WASH
 17 LEVESQUE DRIVE, ELIOT, ME 03903

FOR:
 SHAWN MOORE
 28 SCHOONER RD
 SCARBOROUGH, ME 04074

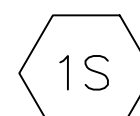
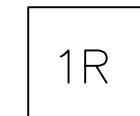
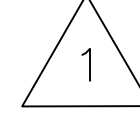
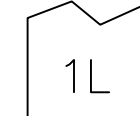
ATTAR ENGINEERING, INC.
 CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING
 1284 STATE ROAD - ELIOT, MAINE 03903
 PHONE: (207)439-6023 FAX: (207)439-2128

SCALE: 1" = 20'	APPROVED BY:	DRAWN BY: WRP
DATE: 4/27/2023		REVISION DATE: - : -
JOB NO: C381-22	FILE: ELIOT COMMONS CAR WASH.DWG	SHEET: 4



SOILS LEGEND
 AdC - ADAMS LOAMY SAND, 8% TO 15% SLOPES, HSG A
 Bm - BIDDEFORD MUCKY PEAT, HSG D
 BuB - BUXTON SILT LOAM, 3% TO 8% SLOPES, HSG C/D
 SOURCE: SOIL SURVEY OF YORK COUNTY, MAINE

FLOW TYPES
 SF - SHEET FLOW
 SCF - SHALLOW CONCENTRATED FLOW
 CF - CHANNEL FLOW

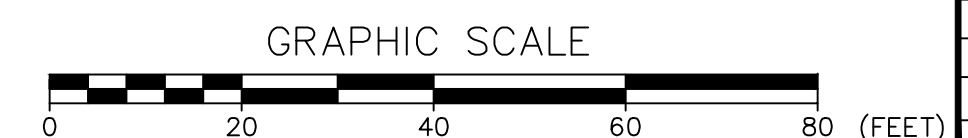
-  SUBCATCHMENT
-  REACH
-  POND
-  ANALYSIS POINT

LEGEND	
EXT. MAJOR CONTOUR	----- XXX -----
EXT. MINOR CONTOUR	----- XXX -----
PRP. SUBCATCHMENT	—————
PRP. TO FLOW LINE	⊙ —————→
PRP. TO GRADE CALC	SF=XXX' ⊙ X.XXX'
SOIL TYPE BOUNDARY	-----

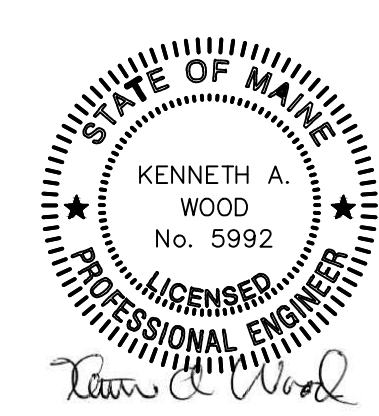
TAX MAP 29 LOT 26 UNIT 4

LEVESQUE DRIVE

BuB



NO.	DESCRIPTION	DATE



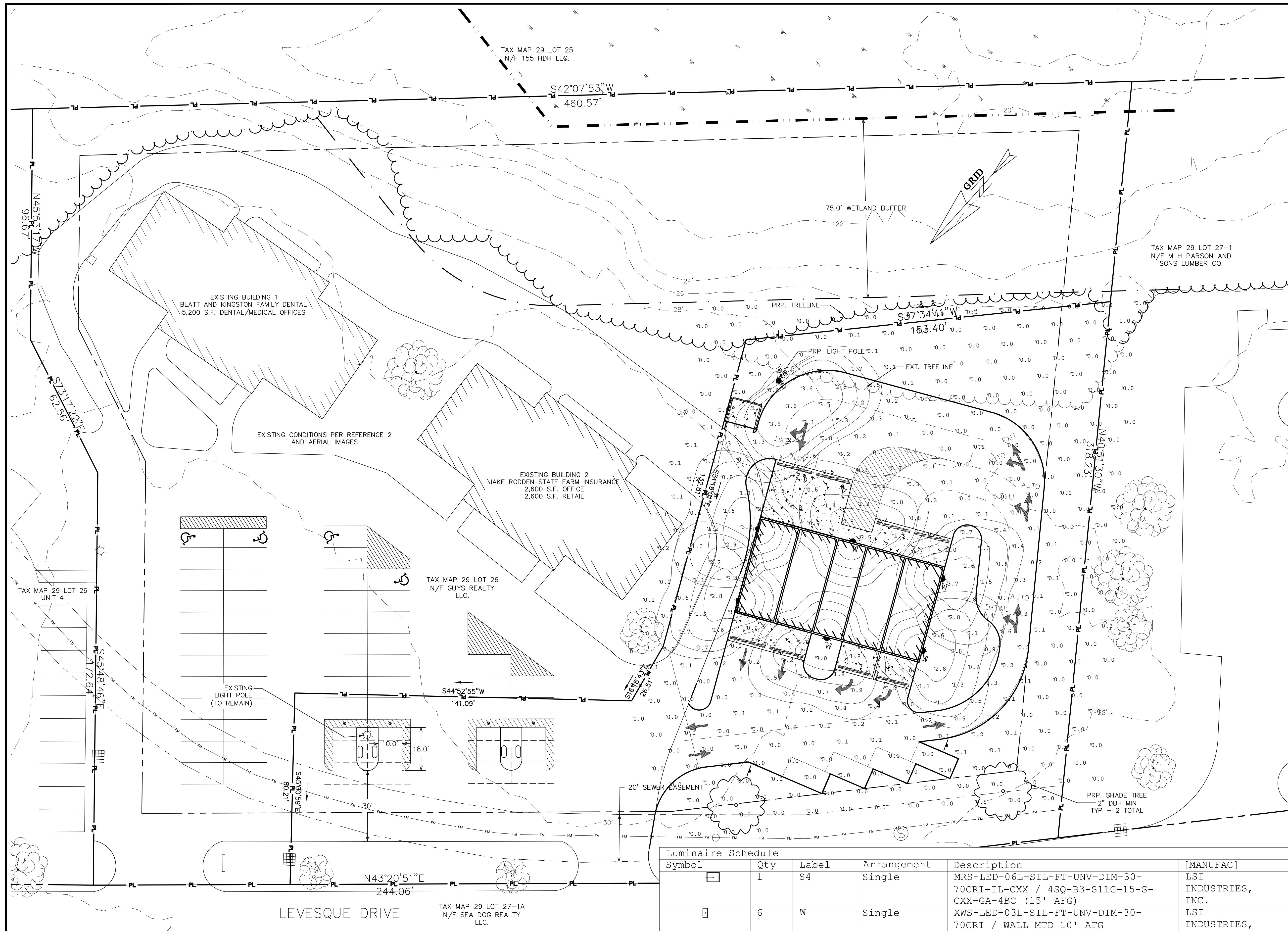
PROPOSED STORMWATER PLAN
 ELIOT COMMONS CAR WASH
 17 LEVESQUE DRIVE, ELIOT, ME 03903

FOR:
 SHAWN MOORE
 28 SCHOONER RD
 SCARBOROUGH, ME 04074

ATTAR ENGINEERING, INC.
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 1284 STATE ROAD - ELIOT, MAINE 03903
 PHONE: (207)439-6023 FAX: (207)439-2128

SCALE: 1" = 20'	APPROVED BY:	DRAWN BY: WRP
DATE: 4/27/2023		REVISION DATE: - - -

JOB NO: C381-22 FILE: ELIOT COMMONS CAR WASH.DWG SHEET: 5



EXISTING BUILDING 1
BLATT AND KINGSTON FAMILY DENTAL
5,200 S.F. DENTAL/MEDICAL OFFICES

EXISTING CONDITIONS PER REFERENCE 2
AND AERIAL IMAGES

EXISTING BUILDING 2
JAKE RODDEN STATE FARM INSURANCE
2,600 S.F. OFFICE
2,600 S.F. RETAIL

TAX MAP 29 LOT 26
N/F GUYS REALTY
LLC.

EXISTING LIGHT POLE
(TO REMAIN)

TAX MAP 29 LOT 27-1A
N/F SEA DOG REALTY
LLC.

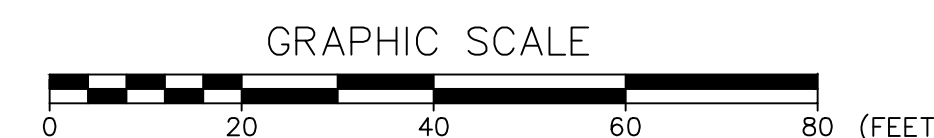
LEVESQUE DRIVE

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	[MANUFAC]
	1	S4	Single	MRS-LED-06L-SIL-FT-UNV-DIM-30-70CRI-IL-CXX / 4SQ-B3-S11G-15-S-CXX-GA-4BC (15' AFG)	LSI INDUSTRIES, INC.
	6	W	Single	XWS-LED-03L-SIL-FT-UNV-DIM-30-70CRI / WALL MTD 10' AFG	LSI INDUSTRIES, INC.

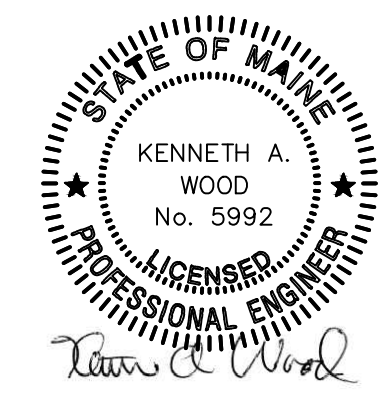
REFERENCES

- "GENERIC 4 BAY DRAWING" FOR SHAWN MOORE. PREPARED BY CAR WASH PROS.
- "CONDOMINIUM PLAT - ELIOT COMMONS PROFESSIONAL PARK, LEVESQUE DRIVE, ELIOT, MAINE" PREPARED BY ATTAR ENGINEERING, INC. DATED 9/14/2020. YCRD BOOK 467, PAGE 4.

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- SITE PLAN
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 - PROPOSED STORMWATER PLAN
 - SITE DETAILS PLAN
 - SITE DETAILS PLAN
 - LIGHTING PLAN



NO.	DESCRIPTION	DATE



TAX MAP 029, LOT 26

LIGHTING PLAN
ELIOT COMMONS CAR WASH
17 LEVESQUE DRIVE, ELIOT, ME 03903

FOR:
SHAWN MOORE
28 SCHOONER RD
SCARBOROUGH, ME 04074

ATTAR ENGINEERING, INC.
CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING
1284 STATE ROAD - ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

SCALE:
1" = 20'

DATE:
4/27/2023

APPROVED BY:

DRAWN BY:
WRP

REVISION DATE:
- : -

JOB NO: C381-22 FILE: ELIOT COMMONS CAR WASH.DWG SHEET: 6



TOWN OF ELIOT MAINE

PLANNING OFFICE

1333 State Road

Eliot ME, 03903

To: Planning Board
 From: Jeff Brubaker, AICP, Town Planner
 Cc: Geoffrey R. Aleva, PE, Civil Consultants, Applicant’s Representative
 Shelly Bishop, Code Enforcement Officer
 Kim Tackett, Land Use Administrative Assistant
 Date: July 17, 2023 (report date)
 July 25, 2023 (meeting date)
 Re: PB23-2: 857 Main Street (Map 10, Lot 2): Site Plan Amendment/Review and Shoreland Zoning Permit Application – Boatyard Expansion

Application Details/Checklist Documentation	
✓ Address:	857 Main St.
✓ Map/Lot:	10/2
✓ Zoning:	Village
✓ Shoreland Zoning:	General Development, Resource Protection
✓ Owner Name:	MGX II LLC, c/o Tom Allen
✓ Applicant Name:	Safe Harbors Marinas; Agent: Civil Consultants
✓ Proposed Project:	Boatyard Expansion
✓ Application Received by Staff:	January 25, 2023
✓ Application Fee Paid and Date:	\$300 (Site Plan Amendment: \$100; Shoreland Zoning Permit Application, 2 ac. rounded up: \$200)
✓ Application Sent to Staff Reviewers:	July 6, 2023
Application Heard by PB	March 7 and July 25 (scheduled), 2023
Found Complete by PB	TBD
Site Walk	March 28, 2023
Site Walk Publication	March 17, 2023 (Weekly Sentinel)
Public Hearing	TBD
Public Hearing Publication	TBD
✓ Reason for PB Review:	Site Plan Amendment, SPR uses, Shoreland Zoning Permit Application, nonconforming use expansion

Overview

Applicant seeks site plan review and shoreland zoning permit approval to improve the existing boatyard on the property by removing three existing buildings (or parts thereof) and building a larger building and associated site improvements. This would consolidate two existing, separate buildings and outdoor areas where boatyard operations now occur. The frame-supported membrane storage structure closer to the river would remain in place. From the Project Synopsis in the application package (headings added):

Current operation

The site at Safe Harbor Kittery Point Eliot Facility currently consists of approximately 5 structures comprising approximately 32,000 sf. We are a boatyard operation that services, repairs and stores both recreational, commercial and government vessels up to 55' LOA [length overall]. In the winter season approximately 150 boats are stored on the property. On average 15 vessels are stored inside heated and 25 inside a cold storage Rubb fabric structure. A limited number of vessels are stored on premises in the summer season.

Scope of improvements

- Demolition of 6800 s.f of existing wood framed structures, to be replaced with steel framed buildings
- Erection of new metal framed structure for improved work flow.
- Improved storm water management
- New waterline from road with sprinkler fire suppression system to main buildings

Type of review needed

Full site plan review: ask questions of the applicant; comment on site plan review and zoning compliance; review waiver request; consider a completeness motion and setting of a public hearing.

Site walk

A site walk was held on Tuesday, March 28, and should be summarized at this meeting from the participating PB members' perspective. The applicant has their own summary in the application.

Conservation Commission (ECC) review

In March, the ECC reviewed the sketch plan, and the Chair's review summary was in my 3/7/23 report. The applicant presented again to the ECC in May, summarizing that "The plans were updated based on comments from the board regarding native plantings and impact areas."

Uses and zoning

Previous Planning Board decisions on file:

- PB92-02, Oct. 1992: Expansion with boat storage building and office addition
- PB95-03, Nov. 1995: Conditional Use Permit to expand the workshop and storage shed
- PB98-22, Sept. 1998: 17'x20' addition to existing building, use is "commercial establishment"
- PB12-03, May 2012: Approved CUP amendment to erect the 150' x 80' fabric structure (frame-supported membrane structure) for boat storage, plus 3,340 sf building addition

The proposed use in the shoreland zoning application is "Marina, Limited boatyard". The pier appears to meet the definition of a "commercial pier". For brevity, definitions are omitted here (see Sec. 1-2).

Village zone

The boatyard appears to be a nonconforming use. Industrial establishments and uses, "commercial establishment", and warehouse uses are prohibited in the Village district (45-290). The land use table has no entry for marinas.

Shoreland zone: general development (GD)

GD allows more intense development than other shoreland districts, including manufacturing, fabricating, or other industrial activities and wholesaling, warehousing, retail trade, and service activities, or other commercial activities [44-33(d)]. No major structures are proposed in the GD overlay, but the plans show additional paved area with retaining wall. A note on Sheet L2 and the applicant’s memo mention the proposed expansion of the work area here. Full service and limited marinas, permanent commercial piers, and generic industrial uses are SPR uses (44-34) in GD.

Shoreland zoning: resource protection (RP)

In RP, full service and limited marinas and generic industrial uses are prohibited, and permanent commercial piers are SPR uses but only for commercial aquaculture.

Recommendation on land use review

The definition of “limited marina” may not be the best fit for the use as described. A limited marina’s principal use is “providing for hire offshore moorings or docking facilities for up to eight boats (excluding dinghies) not registered in landowners name” with indoor storage of boats and boat repair defined as “accessory services”. These latter services seem to be principal for the boatyard. However, as noted in the application, “uses similar to” SPR uses are SPR uses in both base and shoreland zoning.

In this case, I believe GD zoning takes precedence over RP. 44-33(a) states that “general development districts need not be included within the resource protection district”. The relevant SPR designations in GD would not make sense if they were superseded by the restrictions of the adjacent RP zone along the same shoreline. Finally, even if the RP restrictions would take precedence, 44-32 allows for continuance of nonconforming uses. The sketch plan application noted that “The property has been in operation as a boatyard and marine based business for many years”; at sketch plan review the applicant said it became a boatyard in the late ‘60s; and aerial imagery shows a presumptive commercial pier at the developed property at least as far back as October 1980.¹

I therefore suggest review of the uses as follows:

- Within the shoreland zone (GD), use is an SPR use that is similar to SPR uses commercial pier, generic industrial, limited marina.
- Within the non-shoreland Village zone, as discussed at sketch plan review, the PB should review as a continuance/potential expansion of a presumptive legally nonconforming use: use similar to warehouse, commercial establishment, or industrial establishment.

Nonconforming use in the Village zone [45-192(a)]

The question of expansion of a nonconforming use – governed by 45-192(a) – was discussed during sketch plan review. The applicant argues that the nonconforming use is not actually expanding. While they propose a significant building expansion, they argue that this will enclose outdoor areas already devoted to the boatyard operations. Per their memo:

The proposed site improvements and building expansion do not increase the non-conforming use of the property. The existing boatyard, marine storage and repair use covers the majority

¹ https://digitalmaine.com/mgs_aerial_photos/3314/

PB23-2: 857 Main Street (Map 10, Lot 2): Site Plan Amendment/Review and Shoreland Zoning Permit Application – Boatyard Expansion

of the existing developed areas. The proposed building expansion has been designed to enclose existing operations over the work areas... The new buildings will allow for the relocation of outside boat maintenance to the interior of the buildings for safety and reduced noise impacts.

The PB should first determine if this outdoor-to-indoor use conversion accords with 45-192(a). I believe that it does, at least with respect to the area and function of the use. A reasonable reading of this rule would not consider the enclosure of an area already devoted to a use to be an expansion of that use or function, other things equal. However, an expansion may also occur by “adding to the volume of business, or increasing the range of goods or services”. The application gives some indication that the business activity will expand, e.g. more year-round employees. At sketch plan review, the applicant said that they have 20 summertime employees, and that will increase by 3. However, 45-192(a) does allow up to a 25% expansion within any 10-year period. The boatyard’s range of services generally seem to be staying the same, but if the PB believes there might be a >25% expansion of range of services or business volume, you should ask the applicant to clarify that.

Second, the PB should determine if the proposed expansion of the outdoor work area in the GD zone accords with 45-192(a). The applicant’s memo states that this is to “provide a larger platform for commercial operations at the base of the hill... The existing work area is approximately 6,743 SF, the proposed additional work area is 3,365 SF.” It appears that this additional work area, by itself, is well below 25% of the existing area devoted to boatyard operations on the whole parcel (at least 32,000 sf within buildings, plus outdoor areas).

The applicant did provide more information about this in their 7/14 memo. Excerpts:

- “The proposed improvements are not increasing the size of the lot, we are just increasing the number of boats we store inside vs outside. In other words, our inside storage footprint is increasing proportionately to the decrease in our outside storage footprint. Therefore, no meaningful increase in the amount of storage space can be anticipated.”
- “Currently Safe Harbor Kittery Point employees 23 personnel, the majority of whom are based out of the Eliot facility. At one time these facilities employed over 40 personnel. It is therefore difficult to envision a return to our past capacities in the near term. The design of the new offices and facilities does not calculate an increase at this scale.”

Right, title, and interest (33-106)

Warranty deed provided (5/2/22); ALTA/NPSPS land title survey on the last sheet of the plan set

Dimensional requirements (45-405)

Dimension	Standard	Met?
Min lot size	1 acre	Met
Lot line setbacks (ft)	30/20/30 front/side/rear 30/10/10 accessory	Appears to be met. A portion of one structure that currently does not meet the side setback will be removed. See Sheets L1 and L2.
Building height (ft)	35	Appears to be met. Shoreland zoning application states that the proposed building height varies but is “less than 35 [ft.]” and building elevations (Sheets A2.1 to A2.3) appear to confirm that, including a height at or lower than the existing front building. 34 ft. existing building height noted on title survey.

PB23-2: 857 Main Street (Map 10, Lot 2): Site Plan Amendment/Review and Shoreland Zoning Permit Application – Boatyard Expansion

Lot coverage	20%	Appears to be met. See calculation on Sheet L1 showing 18.6% lot coverage (building/structure footprints).
Min street frontage (ft)	100	Not met, but acceptable assuming legally nonconforming lot.
Max sign area (sf)	Max. 12 sf	Unclear if met. Property has existing sign at Main St. Applicant believes the current sign conforms to this standard. Exterior wall-mounted sign location shown on building elevation (A2.1) but may not be allowed [45-528(d)].

Shoreland zoning land use standards (44-35)

Dimension	Standard	Met?
Min lot size	1 acre	Met
Min shore frontage (ft)	100	Met
Structure setback from normal high-water line (NHWL), GD zone (ft)	25	Appears to be met. Sheet L2 shows no structures within 25 ft. (Maine Geological Survey coastal bluff map shows the southeast portion of the shore as stable and the northwest portion as unstable – structure setback from here may be top of coastal bluff, though setback would likely be met anyway.)
Building height in shoreland zone (ft)	35 (RP), N/A (GD)	N/A
Lowest floor elevation above the 100-year flood or other flood standard (ft)	2	Met. Sheet L2, Note 8 shows 100-year floodplain base flood elevation at or about 9 ft. and the Special Flood Hazard Area (Zone AE) as a dashed line on the plan. The ground slopes up from the shore. The frame-supported membrane structure ground is at 45.9 ft. and the expanded building's lowest finished floor elevation is 54.3 ft.
Max non-vegetated surface coverage	70% (GD)	Appears to be met. Sheet L2 shows calculation of coverage increasing from existing 25% to proposed 31%.

Retaining wall

Sheet L2 shows a new London block retaining wall along the perimeter of the new 3,365 sf paved area within the GD zone. A conceptual detail of the wall is on Sheet L4. Per 44-35(b)(5), the applicant needs to show that this is necessary for erosion control, or that, alternatively, it meets all non-erosion-control retaining wall requirements in that section. The applicant has provided justification for the former criterion in their 7/14 memo.

Tree buffer – shoreland and side lot line setbacks

Sheet L2 shows the tree buffer along the shoreline, proposed new disturbed and paved areas, and native vegetation to be installed in restored areas (per ECC comment). The application also includes a narrative on tree preservation and cutting that reflects some shoreland zoning provisions. Sheet L3, the existing conditions plan, shows wooded areas and calculates a total tree canopy area on the lot of 2,042 sf. In response to my review comment regarding the new 3,365 sf paved work area's consistency with 44-35(p) provisions on tree cutting, the 7/14 memo states, in part:

Most of the existing vegetation disturbed by the work area expansion is low vegetation. Disturbed areas will be replanted with native plants along the slope. Any existing trees that are

removed will be replaced along the slope. The intent is to keep the new work out of the 25 ft setback from the wetland edge.

Sheet L3 shows that the paved work area (with retaining wall) is on a slope with part overgrown grass and part wooded/brush, and is partly within the 75 ft. river setback but out of the 25 ft. setback. If the PB would like to delve more into this, you could consider asking for a “tree score” plan.

The plans also show a treeline buffer in the northwest side setback area (abutting Clark Rd. properties) but gravel and a chain link fence (no tree buffer) on the southeast side.

Section 44-35(c) pier/dock review

No substantial changes are proposed for the existing pier. Sheet L2 shows a water service line and underground electric line running to the pier with electrical box. In response to my review comment regarding the location of the electrical box within the 100-year floodplain (see Ch. 25), the 7/14 memo clarifies that “Any electrical work that will be placed in the floodplain will be raised to meet the requirements to keep the fixture above the required elevation”. The 7/14 memo notes that the pier does have reflectors [per 44-35(c)(14)] but their “condition is currently undetermined. We will inspect and install new as required.” The pier is close to the adjacent property to the southeast, apparently less than the standard 25 ft. riparian line setback; however, it may be considered a legally nonconforming situation, and it appears that in the 1980 aerial imagery, a long perpendicular float jutted onto the adjacent property’s riparian area, while today a much shorter float stops at or near the riparian line.

Stormwater and drainage

The memo in the application details the proposed stormwater BMPs, which include a gravel drip edge or gutter along the new building, filter berms, catch basin improvements (with deep sumps to capture sediment), a rainwater storage tank, reused rainwater for boat washing (wash water discharged into the sewer system), and improvements to an existing swale. A calculation on Sheet L2 shows 15,777 sf of existing impervious area and the additional 3,765 sf impervious area from the proposed new paved area with retaining wall by the pier. The application notes that the paving of other gravel areas and site access would reduce dust and sediment transport as runoff would be directed to catch basins and protected outlets. The building expansion would take place over existing impervious areas. The application also includes a stormwater maintenance and inspection plan. Pre- and post-construction stormwater flow modeling is not in the application, but the application and 7/14 response memo qualitatively discuss drainage improvements and peak flow reductions. Ch. 35 post-construction stormwater management requirements will apply.

Parking and loading (Ch. 45, Art. X)

19 spaces are proposed (13 next to the main building, 6 by the pier). The applicant’s 7/14 memo warrants that this satisfies the presumptive parking standard of 1 space per employee for the anticipated largest shift [45-495(11)]. One ADA space is provided with some distance between the space and the doors of the main building via a marked accessible route. In response to my review suggestion, the 7/14 memo cites slope and door location as to why this location was chosen. 2 to 3 loading bays/berths are required by 45-494. This is presumptively met by the design of the building (see elevation sheets A2.1 to A2.3), its several large boat/vehicle doors, and the maneuverability of the paved parking lot.

Traffic (45-406)

The applicant proposes to repave the gated site driveway from Main St. after installing new utilities. Trip generation estimates are not apparent in the application. The hours of operation would be M-F 7:30am to 4:00pm with “Saturdays as needed in the swing season”. Presumably, most trips would be from employees or subcontractors, with boat towing trips less often, especially in the winter. If the PB has questions about trip generation, you may wish to clarify with the applicant. I do not believe a traffic study is needed (33-153) given the existing operations and nature of proposed improvements.

Water and sewer

The lot is served by public water and public sewer. A new 6” water main is proposed along the driveway from Main St., along with capping and abandoning an existing water service. At Main St., a 6” tee and valve is proposed (to be coordinated with Kittery Water District). This line would provide fire suppression service to the building. A 2” line would branch off from the main and run to the pier.

A new sewer line would be built from Main St. to serve the buildings. A forcemain is shown on Sheet L1 with details on Sheet L5. These sheets also show the location and detail of a proposed oil-water separator. See Section 18-35 for limitations on discharges into the public sewer system. At sketch plan review, the applicant noted that bringing more boat storage indoors is likely to capture more washed-off paint than with outdoor storage, and that they are registered as a clean marina at the highest level.

Site plan review comments have been sought from the respective utility contacts.

Glare

The site plan set includes a photometric plan showing the various exterior building lights around the building walls and illuminance values at or near zero at property lines. The applicant notes that in response to a concern raised at the site walk about site lighting, “The intent is to only have code required lighting along the side portion of the building abutting the neighbors. The existing lights will be adjusted to reduce glare onto the abutters.”

Noise

The application notes that moving operations from outdoors to indoors will reduce noise impacts.

Fire suppression

The proposed expanded building would be outfitted with a sprinkler system for fire suppression, served by the proposed new water line. Review comments have been sought from the Fire Chief. The site experienced a fire in 2008 which destroyed a storage building and two boats. The applicant also proposes to remove several wood buildings.

Site plan review information waivers

The applicant has requested a waiver from doing a high intensity soil survey [33-127(12)].

PB23-2: 857 Main Street (Map 10, Lot 2): Site Plan Amendment/Review and Shoreland Zoning Permit Application – Boatyard Expansion

Recommendation

Approve waiver for 33-127(11) – High Intensity Soil Survey.

Deem application complete per 33-130(a) and 44-44(a) and set a public hearing.

Motion templates

Completeness determination (recommended)

Motion to deem the application for PB23-2 complete and set a public hearing for _____.

Incompleteness determination

Motion to deem the application for PB23-2 incomplete. The following additional information or documents are needed: _____.

* * *

Respectfully submitted,

Jeff Brubaker, AICP
Town Planner

From: [Planner](#)
To: [Geoff Aleva](#)
Cc: [Kim Tackett](#)
Subject: PB23-2: 857 Main St - Review letter/email 1 and draft staff report
Date: Wednesday, July 12, 2023 12:01:21 PM
Attachments: [PB23-02 - 857 Main St - Boatyard - 7-25-23 PB.docx](#)

Geoff,

I hope you are having a good week. I am attaching a draft of my staff report for the 7/25 Planning Board meeting for your review. Related review comments/questions include:

1. See the staff report's discussion of the nonconforming use expansion question. Do you or Safe Harbors have any info confirming the volume of the business will not expand by more than 25% over a ten-year-period?
2. Demonstrate that the proposed shoreland retaining wall is necessary for erosion control or otherwise meets (or is exempt from) the standards in 44-35(b)(5).
3. Since I wasn't at the site walk, can you clarify the extent of tree/vegetation removal for the new 3,365 sf paved area and retaining wall? I want to ensure that it is consistent with 44-35(p), which does provide additional flexibility in the General Development zone.
4. Clarify that a freestanding sign at Main St. (either the existing one or a new one) would meet the 45-405 max area of 12 sf.
5. Clarify that the electrical box in the 100-year floodplain will have a flood-resistant design or orientation
6. Does the current pier have reflectors per 44-35(c)(14) and if not can those be included in the plans?
7. Was stormwater modeling done or otherwise are you confident that the stormwater improvements will reduce peak flows? I think this also may be subject to a Ch. 35 post construction stormwater maintenance agreement.
8. The ADA space looks to be further than the front doors of the new building than necessary. Not a direct requirement in the Town Code but can you consider moving it closer or explain why it is shown where it is?
9. Can you confirm the number of parking spaces will meet the presumptive parking standard of 1 space per employee for the anticipated largest shift [45-495(11)]?

I am hoping we can address some or all of the above before the final staff report goes out with the packet next Tuesday, or at least before the 7/25 meeting. Pending the addressing of these aspects, my recommendation to the PB would be to deem the application complete and set a public hearing.

Jeff

Jeff Brubaker, AICP
Town Planner
Town of Eliot
(207) 439-1813 x112

Office Hours: Mon-Thurs, 7:00am-5:00pm by appointment

CIVIL CONSULTANTS MEMORANDUM

TO:	Town of Eliot- Jeff Brubaker, AICP	FROM:	Geoff Aleva, PE	DATE:	July 14, 2023
SUBJECT:	PB23-2: 857 Main St -Review letter/email 1 and draft staff report				
PROJECT:	Safe Harbor- 857 Main Street, Eliot, ME (C.C. Project 2229100)				

Following please find CIVIL CONSULTANTS's responses to the memorandum and email from July 12, 2023.

The proposed traffic and trip generation will not change from the existing conditions. The proposed site improvements are to improve existing work conditions.

COMMENT	RESPONSE
<p>1. See the staff report's discussion of the nonconforming use expansion question. Do you or Safe Harbors have any info confirming the volume of the business will not expand by more than 25% over a ten-year-period?</p>	<p><i>The following response was compiled after discussions with Safe Harbor. The information below indicates that the new building work will not expand the business as the intent is to cover and enclose existing operations to allow for a better work environment.</i></p> <p><i>Comments on 25% volume increase over next 10 years. This question can be answered within two subsegments. But in short, I do not see the ability to increase our business volume of stored boats or our past max crew capacity increasing by more than 25% in the long term, based on our past fleet statistics and services provided.</i></p> <p><i><u>Volume of boats stored.</u> Currently we store an average 150 boats each winter at our 857 Main St facility. The number of stored boats varies from season to season based on size. Current stored boat sizes range from 15' to 65'. Our average LOA for the last several years has been 32-35'. The number of boats stored is limited to the size of our storage footprint/ the lot. The proposed improvements are not increasing the size of the lot, we are just increasing the number of boats we store inside vs outside. In other words, our inside storage footprint is increasing proportionately to the decrease in our outside storage footprint. Therefore, no meaningful increase in the amount of storage space can be anticipated.</i></p> <p><i><u>Volume of work and staff.</u> This is more difficult to forecast as it is impacted by various external factors. Our capacity has decreased over the last several years due to reduction in the skilled labor pool, generational retention challenges, and a prevalence of independent contractors in our area. Currently Safe Harbor Kittery Point employees 23 personnel, the majority of whom are based out of the Eliot facility. At one time these facilities employed over 40 personnel. It is therefore difficult to envision a return to our past capacities in the near term. The design of the new offices and facilities does not calculate an increase at this scale. For example, administrative and office capacity is designed to support 3 additional personnel over current capacity.</i></p> <p><i>The economic payback for these improvements is long-term from the perspective of Safe Harbors. Revenues will increase because of higher storage rates for inside vs outside storage, and decreased costs of overtime and injury via elimination of seasonal swings and outside environment. The environmental benefit is in several areas including reduced noise levels, reduced winterization chemicals, reduced utilities, and reduced use of shrink wrap materials. The benefit in providing a safe, first-class marine storage facility also has a direct impact on employee recruitment and retention. This is a model that Safe Harbors has proven at several of their other operations.</i></p>



CIVIL CONSULTANTS MEMORANDUM

<p>2. Demonstrate that the proposed shoreland retaining wall is necessary for erosion control or otherwise meets (or is exempt from) the standards in 44-35(b)(5).</p>	<p><i>To expand the marine work area a retaining wall is required. If a retaining wall is not utilized in this location, the existing slope would create an erosion issue along the shoreline. The existing slope has some areas where erosion is occurring at the toe of the slope along the western edge of the slope. The new work will address that erosion. The proposed wall will retain the slope and in addition to creating additional work area, will provide slope stability to the location.</i></p> <p><i>The proposed work area is located in the General Development District that requires a 25 ft setback from the normal high-water line.</i></p> <p><i>The proposed retaining wall is located more than 25 ft from the high-water line and is located outside the floodplain. The area behind the proposed retaining wall will be vegetated with native plants and grasses.</i></p>
<p>3. Since I wasn't at the site walk, can you clarify the extent of tree/vegetation removal for the new 3,365 sf paved area and retaining wall? I want to ensure that it is consistent with 44-35(p), which does provide additional flexibility in the General Development zone.</p>	<p><i>The vegetation to be removed is along the area needed for the expansion of the lower work area. Most of the existing vegetation disturbed by the work area expansion is low vegetation. Disturbed areas will be replanted with native plants along the slope. Any existing trees that are removed will be replaced along the slope. The intent is to keep the new work out of the 25 ft setback from the wetland edge.</i></p>
<p>4. Clarify that a freestanding sign at Main St. (either the existing one or a new one) would meet the 45-405 max area of 12 sf.</p>	<p><i>It is my understanding that the current road signage conforms to current code, but if discovered otherwise it will be replaced with a new one.</i></p>
<p>5. Clarify that the electrical box in the 100-year floodplain will have a flood-resistant design or orientation</p>	<p><i>Any electrical work that will be placed in the floodplain will be raised to meet the requirements to keep the fixture above the required elevation.</i></p>
<p>6. Does the current pier have reflectors per 44-35(c)(14) and if not can those be included in the plans?</p>	<p><i>Yes, reflectors were installed on the pier pursuant to per 44-35(c)(14) several years back, but the condition is currently undetermined. We will inspect and install new as required.</i></p>
<p>7. Was stormwater modeling done or otherwise are you confident that the stormwater improvements will reduce peak flows? I think this also may be subject to a Ch. 35 post construction stormwater maintenance agreement.</p>	<p><i>Although a detailed report has not been provided, we have designed and detailed the proposed stormwater improvements to provide additional protection for the property. These protections include providing deep sumps in the catch basins to reduce sediment transport and stone lined outlets to reduce erosion potential.</i></p> <p><i>We also provided a detailed stormwater maintenance plan that if followed will ensure the cleaning and operation of the designed systems.</i></p>
<p>8. The ADA space looks to be further than the front doors of the new building than necessary. Not a direct requirement in the Town Code but can you consider moving it closer or explain why it is shown where it is?</p>	<p><i>The ADA parking space is located along the edge of the existing building. The location on site is also an area where we can provide the required slope to create an accessible parking space and accessible route to the buildings. There are existing overhead doors along the building that also dictated the location. The current location also provides access to both the existing and new building.</i></p>
<p>9. Can you confirm the number of parking spaces will meet the presumptive parking standard of 1 space per employee for the anticipated largest shift [45-495(11)]?</p>	<p><i>The available parking spaces on site will accommodate the proposed users and existing employees. As currently exists additional parking for employees is provided around the site in areas that are not permanently delineated as parking.</i></p>

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**APPLICATION FOR
Site Plan Review/Shoreland Zoning
Permit Application**

For
SHM Kittery Point, LLC
Eliot, Maine Tax Map 10, Lot 2
857 Main Street
Eliot, York County
Maine

May 2023

Case No. _____

Site review? Yes No

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF ELIOT PLANNING BOARD**

Step 1. (Fill in all blocks below - See the Planning Assistant if you don't understand.)

Tax Map 10 Lot# 2 Lot Size 6.2 Acres Zoning District: VD/GD Shoreland

Your Name Geoff Aleva, PE Civil Consultants Your mailing address 293 Main Street, PO BOX 100

City/Town South Berwick State: ME Zip: 03908 Telephone: 207-384-2550

Who owns the property now? SHM Kittery Point, LLC c/o Tom Allen

Address (Location) of the property 857 Main Street, Eliot, ME 03903

Property located in a flood zone? Yes No (**No work in floodzone**)
(If yes, please complete the attached Flood Hazard Development Application and return it with your completed application)

Step 2 (establish your legal interest in the property)

Attach a copy of the Purchase and Sales Agreement, Deed, Tax records, Signed Lease, or other documents to the satisfaction of the Planning Assistant. If you are representing a corporation, provide documentation that you have authority to speak for the corporation.

Step 3 (Go to the Zoning Ordinance Section 45-290, Table of Land uses)

What SPECIFIC land use are you applying for? Use similar to uses requiring Planning Board Approval
(You MUST make this selection from Section 45-290 of the Zoning Ordinance)

Having entered the SPECIFIC land use above now provide a more detailed description of what you want to do:

Demolition of 6800 sq. ft existing wood framed structure

Erection of new metal framed structure

Improved storm water management

New waterline from road with sprinkler fire suppression system to main buildings

New sewerline from buildings to Main Street connection

Expand work area in general development shoreland zone.

(See Project Narrative for more information)

Case No. _____
Site review? Yes No

Step 4 Attach ten (10) copies of a sketch plan, showing in approximate dimensions the following:

- All zoning districts
- The location of all existing and/or proposed buildings
- The setbacks of all existing and proposed structures or uses.

- The location of proposed signs, their size, and direction of illumination.

- The location of all existing and/or proposed entrances and exits.

- All existing and/or proposed parking areas (parking is permitted in the front, rear and side of the premises, so long as it does not violate setback requirements.)

- Plans of buildings, sewage disposal facilities, and location of water supply.

Step 5 Sign the application (both owner and applicant must sign and date the application) and submit fee with preliminary plans (\$100 per acre for first 5 acres and \$50 per acre after five plus \$150 for advertising and public hearing fees)

Applicant  Date 5/9/2023

Property Owner _____ Date _____

Step 6 Application received by Planning Assistant

Date received by the PA _____ PA initials _____

Step 7 The Planning Assistant will review the application and if complete, will place your application on a future Planning Board agenda

Step 8 The applicant or representative of the applicant must attend the Planning Board meeting

PART 1 - THE PROCEDURE

Site Plan Review Submissions Checklist

Applicant Name: _____

Address & Map/Lot: _____

This is a working document, to be used with applicants and staff to ensure information provided is consistent and complete. It should be used as a guide in assembling the information necessary for a site plan review. Once the checklist is completed, applicable waivers indicated, and the information provided, it should be submitted with the application materials.

Instructions for Applicants:

1. Indicate if the information has been submitted by checking the appropriate box in column 1.
2. The Planner and Board will use this checklist with the applicant to determine if the application presented is complete.
3. If you believe that a required submission is not applicable to your proposed project, please discuss this matter with the Planner. If the staff agrees the submission to be not applicable, the staff member will check the appropriate category and indicate the reason the item is not applicable.
4. If a staff member denies a waiver request, that staff member will check the box in column 4 and the Planning Board will make the determination at the meeting.
5. The developer shall submit two originals of a site plan, drawn at a scale of not smaller than one inch equals 20 feet, and ten copies reduced to 11 inches by 17 inches, and showing the following information unless the Planning Board waives these requirements, upon written request of the applicant.

Section Number of Ordinances	Item Description from Ordinances	1 Submitted by the Applicant	2 Submission Determined to be Sufficient by the Planning Board	3 Submission Determined Not Applicable by the Planner	4 Applicant Requests Waiver of Submission Requirement
33-127(1)	Development name or identifying title and name of the Town				
33-127(2)	Name & Address of Record Owners, Developer and Designer				
33-127(3)	Names & Addresses of All Abutters and Their Present Land Use				
33-127(4)	Perimeter Survey of the Parcel Made and Certified by a State-Registered Land Surveyor, Relating to Reference Points, Showing True North Point, Graphic Scale, Corners of the Parcel, Date of Survey, Total				

	Acreage, Existing Easements, Buildings, Watercourses & Other Essential Existing Physical Features				
33-127(5)	The Location of Temporary Markers Adequate to Enable the Planning Board to locate readily and appraise the basic layout in the field				
33-127(6)	Contour lines at intervals of not more than five feet or at such intervals as the Planning Board may require, based on U.S. Geological Survey topographical map datum of existing grades where change of existing ground elevation will be five feet or more				
33-127(7)	Provisions of Chapter 45 of this Code applicable to the area to be developed and any zoning district boundaries affecting the development				
33-127(8)	Provisions for collecting and discharging storm drainage, in the form of a drainage plan				
33-127(9)	Preliminary designs of any bridges or culverts which may be required				
33-127(10)	The location of all natural features or site elements to be preserved				
33-127(11)	A soil erosion and sediment control plan				
33-127(12)	A high intensity soils report identifying the soils boundaries and names in the proposed development, with the soils information superimposed upon the plot plan. Such soils survey shall account for the water table in wet and dry seasons, slope, soil quality, etc.; and planning board approval will be conditioned upon				

	compliance with any recommendations included in such report				
33-127(13)	The locations & size of any existing sewers & water mains, culverts & drains on the property to be developed				
33-127(14)	Connection with existing water supply or alternative means of providing water supply to the proposed development				
33-127(15)	Connection with existing sanitary sewerage system or alternative means of treatment & disposal proposed				
33-127(16)	If a private sewage disposal system is proposed, location & results of tests to ascertain subsurface soil & groundwater conditions, depth to maximum groundwater level, location & results of soil testing				
33-127(17)	An estimated progress schedule				
33-127(18)	Construction drawings sufficient to enable the Code Enforcement Officer to verify the following information:				
a.	Total floor area, ground coverage & location of each proposed building, structure or addition				
b.	All existing & proposed setback dimensions				
c.	The size, location, direction & intensity of illumination of all major outdoor lighting apparatus & signs				
d.	The type, size & location of all incineration devices				
e.	The type, size & location of all machinery likely to generate appreciable noise beyond the lot lines				
f.	The amount & type of any raw, finished or waste				

	materials to be stored outside of roofed buildings, including their physical & chemical properties, if appropriate				
g.	The location, type & size of all curbs, sidewalks, driveways, fences, retaining walls, parking space areas & the layouts together with all dimensions				
h.	All landscaped areas, fencing & size & type of plant material proposed to be retained or replanted				
i.	A site plan for a telecommunication structure must provide a description and construction detail of the telecommunication structure, including plot plan identifying location of the structure on the property; dimensions of the structure; structural supports, if any; lighting; color; and equipment located on the structure, if any. This description shall also identify any accessory structures that are proposed in connection with the operation of the telecommunication structure.				
j.	Applications for subdivisions shall include all applicable submission requirements above, in addition to those required by chapter 41 of this code. If these submission requirements conflict with the requirements of chapter 41, the stricter standards shall apply.				
33-127(19)	Site plans and construction drawings for new and existing structures listed as SPR in section 45-290 shall				

	be submitted to the Eliot Fire Chief for review and comment prior to final approval by the Planning Board				
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In addition to the above, when applicable, the Planning Board may require detailed interior plans including dimensional measurements and uses of all interior spaces, placement of equipment, counters, etc. and when applicable, seating charts indicating table/chair arrangements and the number of requested tables and seats.

The Planner will work with the applicant to ensure this checklist is complete before a Site Plan Review application is scheduled for review by the Planning Board.

Town Planner

Date

Staff Section Only:

Address:	
Map/Lot:	
PB Case #:	
Zoning District:	
Shoreland Zoning:	
Owner Name:	
Applicant Name:	
Proposed Project:	
Application Received by Staff:	
Application Fee Paid and Date:	
Application Received/Found Complete by PB:	
Site Walk Date:	
Public Hearing Date:	
Public Hearing Publication Date:	
Reason for PB Review:	



**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

Shoreland Zoning Permit Application

FOR OFFICE USE ONLY:

PERMIT NO.: _____

ISSUE DATE: _____

FEE AMOUNT: _____

**TOWN OF _____ ELIOT _____
SHORELAND ZONING PERMIT APPLICATION**

GENERAL INFORMATION

1. APPLICANT Civil Consultants Geoffrey R. Aleva, PE	2. APPLICANT'S ADDRESS 293 Main Street, PO BOX 100 South Berwick, ME 03908	3. APPLICANT'S TEL. # 207-384-2550
4. PROPERTY OWNER SHM Kittery Point, LLC c/o Tom Allen	5. OWNER'S ADDRESS Safe Harbor Marinas 14785 Preston Road, Suite 975 Dallas, TX 75254	6. OWNER'S TEL. # 207-439-9582
7. CONTRACTOR H.L. Patten Construction Brett Patten	8. CONTRACTOR'S ADDRESS PO Box 450 Kittery, ME 03904	9. CONTRACTOR'S TEL. # 207-439-2008
10. LOCATION/ADDRESS OF PROPERTY 857 Main Street, Eliot, ME 03903	11. TAX MAP/PAGE & LOT # AND DATE LOT WAS CREATED M10, L2	12. ZONING DISTRICT VD/GD
13. DESCRIPTION OF PROPERTY INCLUDING A DESCRIPTION OF ALL PROPOSED CONSTRUCTION, (E.G. LAND CLEARING, ROAD BUILDING, SEPTIC SYSTEMS, AND WELLS - PLEASE NOTE THAT A SITE PLAN SKETCH IS REQUIRED ON PAGE 3). Proposed project in the shoreland zone is to expand the existing work area. Site work involves grading, retaining wall and stormwater improvements. See attached narrative.		

14. PROPOSED USE OF PROJECT Marina, Limited boatyard	15. ESTIMATED COST OF CONSTRUCTION \$3,500,000.00
--	--

SHORELAND AND PROPERTY INFORMATION

16. LOT AREA (SQ. FT.) 267,894 sq. ft.	17. FRONTAGE ON ROAD (FT.) 29.85 ft.
18. SQ. FT. OF LOT TO BE COVERED BY NON-VEGETATED SURFACES 156,692 S.F.	19. ELEVATION ABOVE 100 YR. FLOOD 30+ feet
20. FRONTAGE ON WATERBODY (FT.) 224.33 ft.	21. HEIGHT OF PROPOSED STRUCTURE Varies less than 35'
22. EXISTING USE OF PROPERTY Boatyard, Limited marina	23. PROPOSED USE OF PROPERTY Boatyard, Limited marina

Note: Questions 24 & 25 apply only to expansions of portions of existing structures which are less than the required setback.

24. A) TOTAL FLOOR AREA OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK AS OF 1/1/89: _____ N/A _____ SQ. FT.	25. A) TOTAL VOLUME OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK AS OF 1/1/89: _____ N/A _____ CUBIC FT.
B) FLOOR AREA OF EXPANSIONS OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK FROM 1/1/89 TO PRESENT: _____ N/A _____ SQ. FT.	B) VOLUME OF EXPANSIONS OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK FROM 1/1/89 TO PRESENT: _____ N/A _____ CUBIC FT.
C) FLOOR AREA OF PROPOSED EXPANSION OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK: _____ N/A _____ SQ. FT.	C) VOLUME OF PROPOSED EXPANSION OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK: _____ N/A _____ CUBIC FT.
D) % INCREASE OF FLOOR AREA OF ACTUAL AND PROPOSED EXPANSIONS OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK SINCE 1/1/89:	D) % INCREASE OF VOLUME OF ACTUAL AND PROPOSED EXPANSIONS OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK SINCE 1/1/89:

$(\% \text{ INCREASE} = \frac{B+C}{A} \times 100)$ N/A _____ %	$(\% \text{ INCREASE} = \frac{B+C}{A} \times 100)$ N/A _____ %
---	---

NOTE: IT IS IMPERATIVE THAT EACH MUNICIPALITY DEFINE WHAT CONSTITUTES A STRUCTURE, FLOOR AREA, AND VOLUME AND APPLY THOSE DEFINITIONS UNIFORMLY WHEN CALCULATING EXISTING AND PROPOSED SO. FT. AND CU. FT.

SITE PLAN

PLEASE INCLUDE: LOT LINES; AREA TO BE CLEARED OF TREES AND OTHER VEGETATION; THE EXACT POSITION OF PROPOSED STRUCTURES, INCLUDING DECKS, PORCHES, AND OUT BUILDINGS WITH ACCURATE SETBACK DISTANCES FROM THE SHORELINE, SIDE AND REAR PROPERTY LINES; THE LOCATION OF PROPOSED WELLS, SEPTIC SYSTEMS, AND DRIVEWAYS; AND AREAS AND AMOUNTS TO BE FILLED OR GRADED. IF THE PROPOSAL IS FOR THE EXPANSION OF AN EXISTING STRUCTURE, PLEASE DISTINGUISH BETWEEN THE EXISTING STRUCTURE AND THE PROPOSED EXPANSION.

NOTE: FOR ALL PROJECTS INVOLVING FILLING, GRADING, OR OTHER SOIL DISTURBANCE YOU MUST PROVIDE A SOIL EROSION CONTROL PLAN DESCRIBING THE MEASURES TO BE TAKEN TO STABILIZE DISTURBED AREAS BEFORE, DURING AND AFTER CONSTRUCTION (See attached guidelines)

PLEASE SEE ATTACHED SKETCH PLAN

SCALE: _____ = _____ FT.

FRONT OR REAR ELEVATION

SIDE ELEVATION

Please see attached

**DRAW A SIMPLE SKETCH SHOWING BOTH THE EXISTING
AND PROPOSED STRUCTURES WITH DIMENSIONS**

ADDITIONAL PERMITS, APPROVALS, AND/OR REVIEWS REQUIRED

CHECK IF REQUIRED:


- PLANNING BOARD REVIEW APPROVAL
(e.g. Subdivision, Site Plan Review)
- BOARD OF APPEALS REVIEW APPROVAL
- FLOOD HAZARD DEVELOPMENT PERMIT
- EXTERIOR PLUMBING PERMIT
(Approved HHE 200 Application Form)
- INTERIOR PLUMBING PERMIT
- DEP PERMIT (Site Location,
Natural Resources Protection Act)
- ARMY CORPS OF ENGINEERS PERMIT
(e.g. Sec. 404 of Clean Waters Act)

OTHERS:

- DEP PBR for work adjacent to the resource
- _____
- _____
- _____

NOTE: APPLICANT IS ADVISED TO CONSULT WITH THE CODE ENFORCEMENT OFFICER AND APPROPRIATE STATE AND FEDERAL AGENCIES TO DETERMINE WHETHER ADDITIONAL PERMITS, APPROVALS, AND REVIEWS ARE REQUIRED

I CERTIFY THAT ALL INFORMATION GIVEN IN THIS APPLICATION IS ACCURATE. ALL PROPOSED USES SHALL BE IN CONFORMANCE WITH THIS APPLICATION AND THE TOWN OF ELIOT SHORELAND ZONING ORDINANCE. I AGREE TO FUTURE INSPECTIONS BY THE CODE ENFORCEMENT OFFICER AT REASONABLE HOURS.

_____ APPLICANT'S SIGNATURE	_____ DATE
 AGENT'S SIGNATURE (if applicable)	5/9/2023 DATE

IF APPROVED, THE FOLLOWING CONDITIONS ARE PRESCRIBED:

NOTE: IN APPROVING A SHORELAND ZONING PERMIT, THE PROPOSED USE SHALL COMPLY WITH THE PURPOSES AND REQUIREMENTS OF THE SHORELAND ZONING ORDINANCE FOR THE TOWN OF ELIOT.

CODE ENFORCEMENT OFFICER DATE



NOTE: THIS CHECKLIST IS INTENDED TO ASSIST THE CEO IN TRACKING A SHORELAND ZONING PERMIT THROUGH THE REVIEW PROCESS

-

SHORELAND ZONING PERMIT CHECKLIST

-

CHECKOFF FOR ALL STRUCTURES:

- COMPLETE SHORELAND ZONING PERMIT APPLICATION
- PAY APPROPRIATE FEE
- LOT AREA
- % OF LOT COVERED BY NON-VEGETATED SURFACES
- HEIGHT OF STRUCTURE
- SETBACK FROM HIGH WATER LINE
- ELEVATION SETBACK FROM SIDE AND REAR LOT LINES
- % INCREASE OF EXPANSIONS OF PORTION OF STRUCTURE WHICH IS LESS THAN REQUIRED SETBACK
- COPY OF INTERIOR AND EXTERIOR PLUMBING PERMITS
- COPY OF DEED
- ELEVATION OF LOWEST FLOOR TO 100 YEAR FLOOD ELEVATION
- COPY OF ADDITIONAL PERMIT(S) AS REQUIRED
(See Page 5 of Application Form)
- SOIL EROSION CONTROL PLAN PROVIDED

CHECKOFF FOR FURTHER REVIEW:

- COPY OF FILE TO BOARD OF APPEALS IF VARIANCE OR SPECIAL EXCEPTION IS REQUIRED
- COPY OF FILE TO PLANNING BOARD IF PLANNING BOARD REVIEW IS REQUIRED

CHECK OFF FOR SITE VISITS BY CEO:

- PRIOR TO CLEARING AND EXCAVATION
- PRIOR TO FOUNDATION POUR
- PRIOR TO FINAL LANDSCAPING
- PRIOR TO OCCUPANCY

NOTE: WHERE THE SHORELAND ZONING ORDINANCE REQUIRES A VARIANCE, A CONDITIONAL USE, OR SPECIAL EXCEPTION BY THE BOARD OF APPEALS OR THE PLANNING BOARD, THEN THIS SPECIAL PERMIT SHALL BE COMPLETED BY THE APPROPRIATE BOARD AND ATTACHED TO THE SHORELAND PERMIT APPLICATION.

Appendix 2

SPECIAL PERMIT

PROPERTY OWNER	SHORELAND DISTRICT
ADDRESS OF PROPERTY	

**FINDINGS OF FACT AND
CONDITIONS OF APPROVAL**

BD. OF APPEALS _____
PLANNING BOARD _____

CONDITIONS:

1. See standard conditions (attached)
- 2.
- 3.

NOTE:

The Findings of Fact and the Conditions of Approval should include the reasons why the special permit was granted and specific conditions which clearly define the scope of the use. In reviewing a request for a variance, Boards of Appeal shall apply the "Undue Hardship" criteria printed on the back of this page. In reviewing a request for a conditional use or a special exception, Planning boards shall apply the standards of review provided in the local ordinance.

APPROVED BY: _____ DATE _____

NOTICE TO APPLICANT:

I HAVE READ AND ACCEPT THE CONDITIONS OF THIS SPECIAL PERMIT.

APPLICANT _____ DATE _____

"Undue Hardship" Criteria for Granting Variances

Under Title 30-A, M.R.S.A. Section 4353(4), a Board of Appeals may grant a variance only when strict application of the ordinance to the petitioner and the petitioner's property would cause "undue hardship." The term "undue hardship" is defined as:

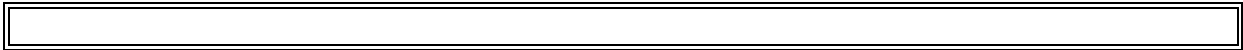
- A. The land in question cannot yield a reasonable return unless a variance is granted;
- B. The need for a variance is due to the unique circumstances of the property and not the general condition in the neighborhood;
- C. The granting of a variance will not alter the essential character of the locality; and
- D. The hardship is not the result of action taken by the applicant or a prior owner.

NOTE: THIS INSPECTION SCHEDULE IS NOT DESIGNED TO		PERMIT NO. _____
ENSURE COMPLIANCE WITH BOCA/OTHER BUILDING CODES,		DATE OF ISSUE _____
BUT RATHER TO ENSURE COMPLIANCE WITH THE LAND USE		RECIPIENT _____
STANDARDS CONTAINED IN THE _____		MAP & LOT # _____
SHORELAND ZONING ORDINANCE.		

SHORELAND ZONING PERMIT

SITE INSPECTION SCHEDULE

PRIOR TO CLEARING AND EXCAVATION	DATE _____	CEO _____
PRIOR TO FOUNDATION POUR	DATE _____	CEO _____
PRIOR TO FINAL LANDSCAPING	DATE _____	CEO _____
PRIOR TO OCCUPANCY	DATE _____	CEO _____



Appendix 4

STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

1. A copy of this permit must be posted in a visible location on your property during development of the site, including construction of the structures approved by this permit.
2. This permit is limited to the proposal as set forth in the application and supporting documents, except as modified by specific conditions adopted by the Planning Board or Code Enforcement Officer in granting this permit. Any variations from the application or conditions of approval are subject to prior review and approval by the Planning Board or Code Enforcement Officer. Failure to obtain prior approval for variations shall constitute a violation of the ordinance.
3. A substantial start (30% of project based on estimated cost) of construction activities approved by this permit must be completed within one (1) year of the date of issue. If not, this permit shall lapse, and no activities shall occur unless and until a new permit is issued.
4. The water body and wetland setbacks for all principal and accessory structures, driveways, and parking areas must be as specified in the application, or as modified by the conditions of approval.
5. In the event the permittee should sell or lease this property, the buyer or leasee shall be provided with a copy of the approved permit and advised of the conditions of approval.
6. Once construction is complete, the permittee shall notify the Code Enforcement Officer that all requirements and conditions of approval have been met. Following notification, the Code Enforcement Officer may arrange and conduct a compliance inspection.

STANDARD CLEARING CONDITIONS

The following shall apply to vegetation clearing for all activities within the shoreland zone.

1. A vegetative buffer strip shall be retained within 100 feet of a great pond or river flowing to a great pond, and within 75 feet of other water bodies, wetlands, and tributary streams.
2. Within the buffer strip(s) there shall be no cleared opening greater than 250 square feet in the forest canopy as measured from the outer limits of the tree crown. A winding footpath is permitted, provided it does not exceed ten (10) feet in width as measured between tree trunks, and does not provide a cleared line of sight to the water. Adjacent to great ponds and rivers flowing to great ponds, the width of the footpath is limited to six (6) feet.
3. Selective cutting of trees within the buffer strip(s) is permitted provided that a well-distributed stand of trees and other vegetation is maintained. Not more than 40% of the total volume of trees four (4) inches or more in diameter, measured at 4 1/2 feet above ground level, may be removed in any ten (10) year period.
4. Within the buffer strip(s) adjacent to great ponds, and rivers and streams flowing to great ponds, existing vegetation under three (3) feet in height and other ground cover shall not be removed, and the soil shall not be disturbed, except to provide for a footpath or other permitted use.
5. Within the buffer strip(s) pruning of tree branches is prohibited, except on the bottom 1/3 of the tree provided that tree vitality will not be adversely affected.
6. Within the buffer strip(s), in order to maintain a buffer strip of vegetation, when the removal of storm-damaged, diseased, unsafe, or dead trees results in the creation of cleared openings in excess of 250 square feet, these openings shall be replanted with native tree species. When removal of such trees appears necessary, the permittee is advised to consult with the Code Enforcement Officer prior to tree removal.
7. Within the shoreland zone, but outside the 75 feet or 100 foot buffer strip(s) described in Standard #1 above, not more than 40% of the total volume of trees four (4) inches or more in diameter, measured 4 1/2 feet above ground level, may be removed in any ten (10) year period. In no instance shall cleared openings exceed, in the aggregate, 10,000 square feet or 25% of the lot area, whichever is greater, including land previously cleared.
8. Legally existing cleared openings which exceed the above standards may be maintained, but shall not be enlarged except as permitted by the ordinance.
9. Where natural vegetation is removed it shall be replaced by other vegetation (except for areas to be built upon) that is effective in preventing erosion and retaining natural beauty.

GUIDELINES FOR SOIL STABILIZATION

Areas of disturbed soil, including but not limited to areas that are filled, graded, or otherwise disturbed during construction, must be stabilized according to the approved erosion control plan provided as part of the permit application, or as modified by specific conditions of approval. The following guidelines provide guidance for the landowner to consider in preparing and executing the soil stabilization portion of the erosion control plan. The goals to be achieved by proper stabilization are the avoidance of accelerated soil erosion and sedimentation of water bodies.

In General:

1. Sterile soils such as sands and gravels should be covered with a minimum of 4 inches of compacted topsoil to provide a growth medium for vegetation.
2. Disturbed areas which can be seeded between May 1 and September 15 should be prepared and seeded during that period. The best seeding dates are from May 1 to June 15. Mid-summer seeding will usually require significant watering.
3. Disturbed areas which can not be seeded between May 1 and September 15 should be heavily mulched with hay, straw, or some other suitable material to keep them as stable as possible over the winter, and particularly during the spring runoff the following year. Generally, one bale of hay for each 500 square feet of disturbed area provides a stabilizing mulch. For over-wintering, mulch must be tied down, as it is easily blown around on frozen ground, leaving areas of exposed soils. Mulched over-winter areas should be prepared and seeded the following spring as soon as conditions allow.
4. Seeding preparation, in addition to providing topsoil or loam if the site is sterile, includes the application of lime and fertilizer, which should be lightly raked into the soil prior to seeding. After the area is seeded, it should be lightly watered and then mulched to protect the seed, keep the site stable and moist, and allow the seed to germinate and grow.
5. Lime should be applied at a rate of approximately 138 pounds per 1000 square feet of area. This rate may vary depending on soil conditions, and it is recommended that soil be analyzed to determine specifically what additional nutrients are needed.
6. Fertilizers should be a "quick release" low phosphorus mixture. They should be applied at a rate of approximately 18.4 pounds per 1000 square feet. However, no more fertilizer than necessary should be added since any excess may be washed into the adjacent water body and contribute to lower water quality. Fertilizers should never be applied before thunderstorms or before spring runoff.
7. Minimize the areas of exposed soil during construction, and temporarily or permanently stabilize disturbed areas within one week of the time the area is actively worked. Runoff control features such as hay bales, silt fencing, and diversion ditching must be in place and functioning prior to the start of construction.



**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

**Client Authorization
and Project Narrative**

From: [Tom Allen](#)
To: [Brett Patten](#)
Cc: geoff@civcon.com
Subject: RE: [External] Fwd: SAFE HARBOR PROJECT
Date: Monday, January 23, 2023 2:46:25 PM
Attachments: [image114746.png](#)

This email serves to confirm that Safe Harbors Marinas authorizes Civil Consultants to act as their agent on the future application and project for Safe Harbor Kittery Point at 857 Main Street in Eliot.



Tom Allen
General Manager
Safe Harbor Kittery Point
O: (207) 439-9582

The information transmitted, including attachments, is intended only for the person(s) or entity to which it is addressed and may contain confidential and/or privileged material. Any non-public information in this communication, including attachments, constitutes "confidential information" under, and is subject to the terms of, any applicable nondisclosure or confidentiality agreement between Safe Harbor Marinas (or its affiliates) and the intended recipient or its principals and affiliates, as applicable. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and destroy any copies of this information.

From: Brett Patten <brett@hlpatten.com>
Sent: Monday, January 23, 2023 1:25 PM
To: Tom Allen <tjallen@shmarinas.com>
Subject: [External] Fwd: SAFE HARBOR PROJECT

Hi Tom,

If you could please write a simple email stating the SH authorizes Civil Consultants to act as their agent in regards to the project at 857 Main Street.

Thank you

Brett

----- Forwarded message -----

From: <geoff@civcon.com>
Date: Fri, Jan 20, 2023 at 3:28 PM
Subject: SAFE HARBOR PROJECT
To: Brett Patten <brett@hlpatten.com>

Brett

I will need a agent authorization email with the application.

Geoffrey R. Aleva, PE
President
Structural / Civil Engineer
CIVIL CONSULTANTS
PO Box [100 / 293 Main Street](#)
[South Berwick, Maine 03908](#)
[ph: 207-384-2550](#)
fx: 207-384-2112
mobile: 603-781-1402

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--

Brett H. Patten, Project Manager
H.L. Patten Construction, Inc.
Kittery, ME 03904
207 439-2008

CIVIL CONSULTANTS MEMORANDUM

TO: Town of Eliot – Planning Department

FROM: Geoffrey R. Aleva, PE – President

SUBJECT: Site Plan Review –857 Main Street, Safe Harbor Proposed Expansion

DATE: MAY 9, 2023

PROJECT: SAFE HARBOR MARINA (MAP 10, LOT 2)

The proposed project is to expand the existing boatyard covered building operations. The property has an existing site plan approval. This memorandum addresses the proposed site changes and improvements.

The existing Boatyard was formerly known as Kittery Point Service Yacht Yard is now known as Safe Harbor Kittery Point. The property located at 857 Main Street is the base Village Zone and the General Development Shoreland zone. The Village zone does not have a direct use that indicates the current longstanding Boatyard use. The zoning ordinance indicates Uses Similar to Uses Requiring Planning Board approval are allowed. For discussion the property has a current non-conforming use.

The proposed site improvements and building expansion do not increase the non-conforming use of the property. The existing boatyard, marine storage and repair use covers the majority of the existing developed areas. The proposed building expansion has been designed to enclose existing operations over the work areas. This proposed building construction occurs outside the shoreland area, meets required building setbacks and connects to the existing structures.

The General Development Shoreland zone indicates Limited Marinas are allowed with Site Plan Review. The existing work area is to be expanded in the shoreland area.

Existing wood framed structures will be removed and replaced with new steel framed buildings, see Sheet DE1 for details. We are proposing an expansion of 23,533 SF. The updated total building areas would approximately 18.6%, falling below the zone maximum building coverage of 20%.

The new buildings will allow for the relocation of outside boat maintenance to the interior of the buildings for safety and reduced noise impacts. The new building will also provide better access to customers and vendors. The buildings will also be protected with a new sprinkler system.

The proposed site revisions also include expansion of the marine use boatyard working area located within the 250 ft shoreland area. The intent of this work is to provide a larger platform for commercial operations at the base of the hill. That work will not be below the normal high-water mark, but within the 250 shoreland zone area. The existing work area is approximately 6,743 SF, the proposed additional work area is 3,365 SF. The existing gravel areas will be paved to reduce the amount of sediment transport the shoreline during storm events. These areas will be directed to new catch basins and protected outlets.

Gravel site access areas around the existing and new building are proposed to be paved to



promote better site conditions and reduce dust and maintenance. Improvements to site drainage will be achieved through relocation and replacement of existing drainage facilities and additional stormwater BMPs to improve flow characteristics from the property. The proposed building expansions are to be located over existing buildings, gravel and pavement impervious areas.

The stormwater improvements to the site are achieved through several BMP's. Roof drainage from the building along the north side of the property will be directed to a stone drip edge. This drip edge will allow for infiltration of stormwater flows from the site.

This roof edge will also have a gutter system to feed a rainwater storage tank. This water will be reused for boat cleaning operations and collected before being discharged into the sewer system.

Several of the existing catch basins will be replaced and new structures will have deep sumps. The deep sumps will capture sediment from gravel areas that drain into the system.

The outlets and existing ditch lines will be maintained, and additional erosion control measures installed to reduce the potential for downstream erosion. The conversion of gravel surfaces to pavement will reduce the sediment transport on the property. This conversion does not increase the stormwater flow on the property.

The application package also includes a proposed stormwater maintenance plan. This plan indicates the requirements and frequency of inspections and maintenance requirements.

A site walk was conducted on March 28, 2023. Many abutting property owners attended the meeting. The meeting was well received, and overall review was positive. The property owner indicated that they were concerned with site lighting. The intent is to only have code required lighting along the side portion of the building abutting the neighbors. The existing lights will be adjusted to reduce glare onto the abutters. The application has a photometric plan indicating the proposed light fixture impacts.

The project was presented to the Town of Eliot Conservation Commission on May 3, 2023. This office presented the project and described the improvements. The plans were updated based on comments from the board regarding native plantings and impact areas.

SAFE HARBOR PROJECT SYNOPSIS:

Current operation: The site at Safe Harbor Kittery Point Eliot Facility currently consists of approximately 5 structures comprising approximately 32,000 sf. We are a boatyard operation that services, repairs and stores both recreational, commercial and government vessels up to 55' LOA. In the winter season approximately 150 boats are stored on the property. On average 15 vessels are stored inside heated and 25 inside a cold storage Rubb fabric structure. A limited number of vessels are stored on premises in the summer season.

The scope of improvements consists of:

- Demolition of 6800 s.f of existing wood framed structures, to be replaced with steel framed buildings



- Erection of new metal framed structure for improved work flow.
- Improved storm water management
- New waterline from road with sprinkler fire suppression system to main buildings

Benefits of the improvements:

- Increased inside storage capacity via outside storage reducing environmental impact of outside work and shrink wrap.
- Increased safety of employees performing service work to vessels inside versus out in the elements.
- Reduction in neighborhood noise from outside boat work.
- Reduced runoff from boats outside storage boats.
- Additional safety of sprinklered buildings.
- Supporting growth of a working waterfront-based business. More boats inside means the ability to retain more year-round employees in the winter season.

The hours of operation are M-F, 7:30am - 4:00pm. Saturdays as needed in the swing season.

J:\aaa\2022\2229100\PLANNINGBOARD\20230508\PROJECT NARRATIVE.docx





**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

Abutters and GIS Map

LIST OF ABUTTERS

857 Main
Street Eliot, ME
Map 10 Lot 2
January 2023

MAP	LOT	NAME & MAILING ADDRESS
10	2 (Locus)	MGX II LLC 3 Bond Road Kittery Point, ME 03905
10	1	Judith Thompson Michael Thompson 851 Main Street Eliot, ME 03903
10	3	Robert Mahoney Janine Mahoney 863 Main Street Eliot, ME 03903
10	4	Webb, Hillary Revocable Tru Hillary Webb Trustee 871 Main Street Eliot, ME 039003
10	5	Bradley Gilbert Tara Gilbert 881 Main Street Eliot, ME 03903
10	6	Cory Ilaria 1 Clark Road Eliot, ME 03903
10	7	Gass Family Revocable Trust Michael and Kimberly Gass Tru 120 Hillside Dr Portsmouth, NH 03803
10	8	Richard Philbrick Harriet Philbrick 11 Clark Road Eliot, ME 03903
10	9	Monica Sambataro Revocable Monica Sambataro Trustee 14 Clark Road Eliot, ME 03903
10	10	Green Acre Baha'I School 1233 Central Street Evanston, IL 60201
10	11	Marcia Houde Paul Houde 6 Clark Road Eliot, ME 03903
10	12	Mary Aducat 289 Kresson-Gibbsboro Road Voorhees, NJ 08043

LIST OF ABUTTERS

857 Main
Street Eliot, ME
Map 10 Lot 2
January 2023

MAP	LOT	NAME & MAILING ADDRESS
10	13	Mary Aducat 289 Kresson-Gibbsboro Road Voorhees, NJ 08043
10	33	Kenneth Dame Meredith Dame PO Box 324 Eliot, ME 03903
10	34	Kenneth Dame Meredith Dame PO Box 324 Eliot, ME 03903
10	36	Greig Cronauer Ellen Cronauer 874 Main Street Eliot, ME 03903
10	37	Karen Horton Robert Horton 862 Main Street Eliot, ME 03903
10	38	Melissa Piper 15 Greenwood Street Eliot, ME 03903
10	77	Hinds Family Revocable Trust George & Irva Hinds Trust 63 Greenwood Street Eliot, ME 03903
10	78	Margaret Ann Morse 850 Main Street Eliot, ME 03903
10	79	Pamela A Mondschein Living Trust Pamela A Mondschein Trustee 840 Main Street Eliot, ME 03903
5	1	Patricia Konovalchik 123 Stacy Lane Eliot, ME 03903
5	2	Patricia Levesque Revocable Trust Patricia Levesque 5 Gerrys Lane Eliot, ME 03903
5	3	Leonard Lamberti Revocable Trust Leonard Lamberti Trustee 7 Gerrys Lane Eliot, ME 03903

LIST OF ABUTTERS

857 Main
Street Eliot, ME
Map 10 Lot 2
January 2023

MAP	LOT	NAME & MAILING ADDRESS
5	4	Heidi Thompson Douglas Thompson 201 Wilshire Drive Sharon, MA 02067
5	5	Janice/Ronald Desjardins Rev Trust Janice/Ronald Desjardins Trustee 1138 Kittiwake Dr Venice, FL 34285
5	6	CPN Realty LLC David Chase 31 Clark Road Eliot ME 03903
5	9	Mark Tucker Jane Harper 26 Clark Road Eliot ME 03903
5	10	David Rutstein Gayle Rutstein 22 Clark Road Eliot, ME 03903
6	55	Mary Ellen Manero-Earley 18 Anthony's Landing Eliot, ME 03903
6	56	Stephen Manero Britt Manero 12 Anthony's Landing Eliot, ME 03903
6	62	Joseph Christian Darcy Christian 827 Main Street Eliot, ME 03903
6	63-1	Ramona Robinson Luis Valdex PO Box 518 Eliot, ME 03903
6	63-2	Stephen Manero 12 Anthony's Landing Eliot, ME 03903
6	63-3	Stephen Manero 12 Anthony's Landing Eliot, ME 03903
6	64	Elizabeth Clark Thomas Clark 11 Clark Road Eliot, ME 03903

LIST OF ABUTTERS

857 Main
Street Eliot, ME
Map 10 Lot 2
January 2023

<i>MAP</i>	<i>LOT</i>	<i>NAME & MAILING ADDRESS</i>
6	65	Brenda Kiberd Christopher Kiberd 13 Clark Road Eliot, ME 03903
6	66	Jethro Loichle Jennifer Loichle 15 Clark Road Eliot, ME 03903
6	67	Michael Sanborn 17 Clark Road Eliot, ME 03903



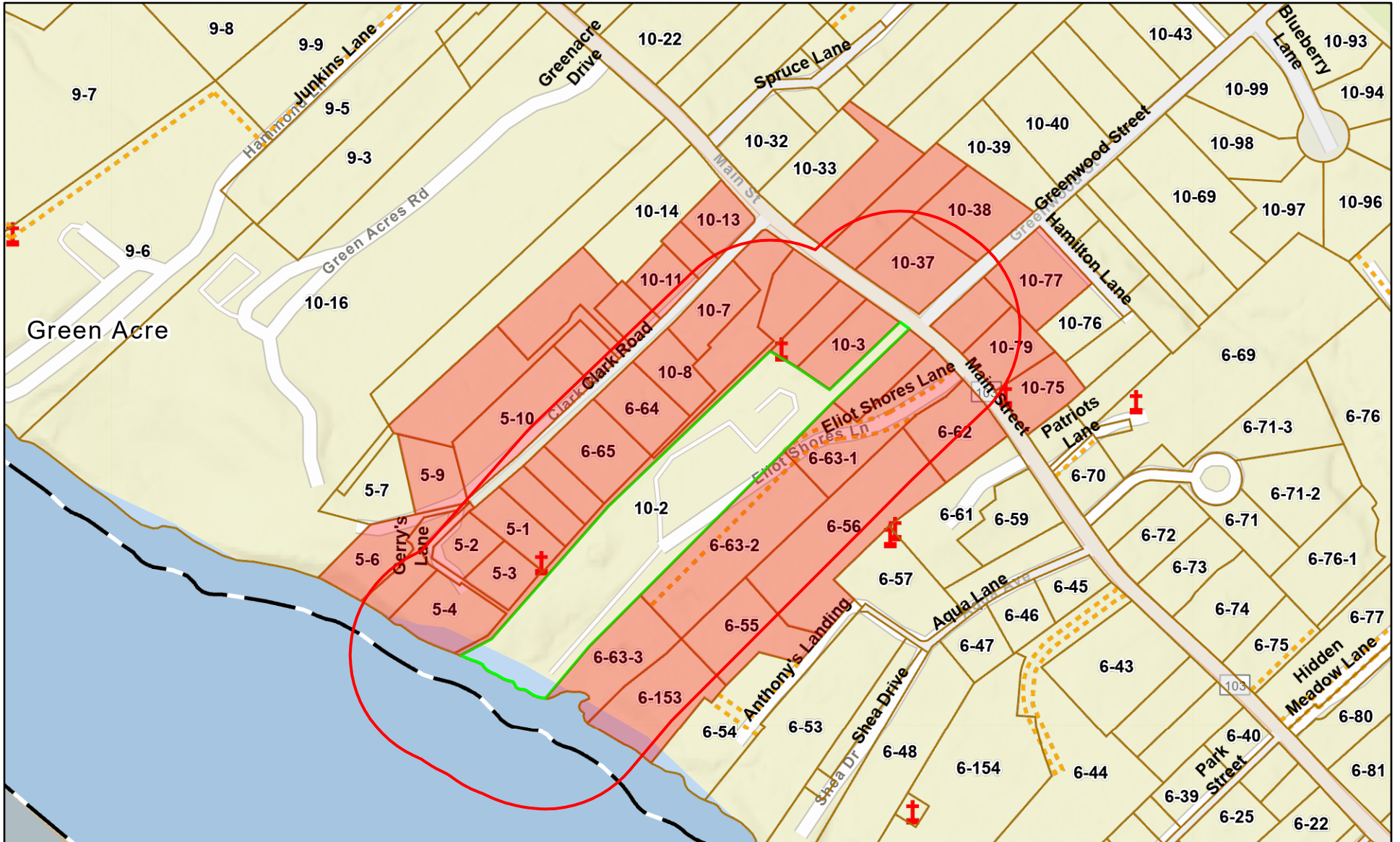
Town of Eliot, ME

1 inch = 376 Feet



May 9, 2023

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



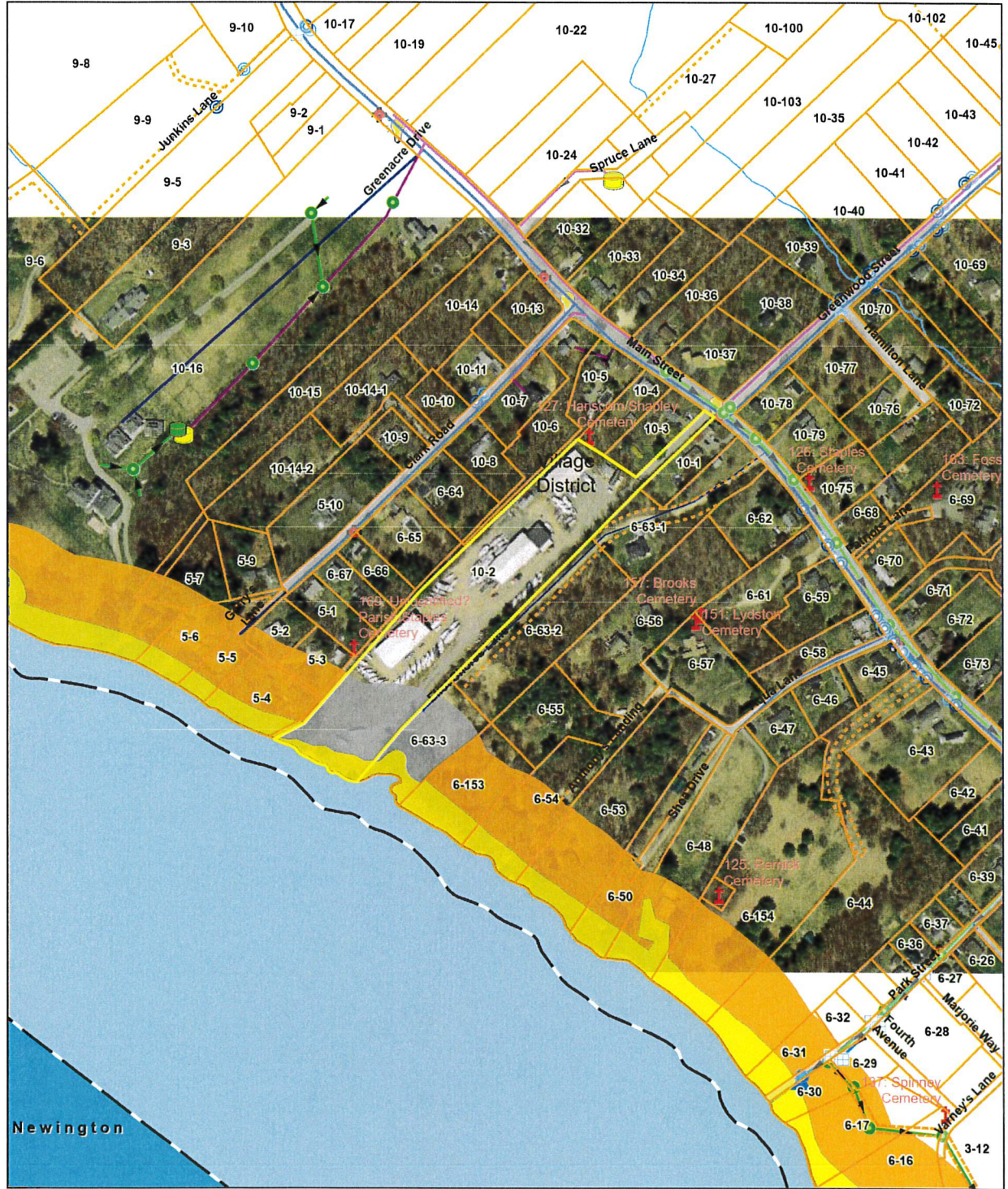
Town of Eliot, ME



December 8, 2022

1 inch = 120 Feet

www.cai-tech.com



Large Scale	Town Rights-of-Way	Hydrography	Septic Tank	KWD Pipes
CAI Town Line	Water Bodies	Swale	Wastewater Manhole	Street_Lights
Mask - New Hampshire	Culvert Inlet	Culvert	Sewer Easements	Zoning
Parcel - Poly	Culvert Outlet	Gravity	Force Main	Resource Protection
Street Names	Catchbasin	Drainage Ditches	Waste Water	Limited Residential
Parcel Lines - Ortho	Drain Manhole	Waterbody	Hydrants	General Development
Rights-of-Way	Public	Pump Station	KWD Main Lines	Tidal Areas
Cemetery Centroids				

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**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

Deeds

DLN: 1002240192345

After recording return to:
SHM Kittery Point, LLC
c/o Safe Harbor Marinas
14785 Preston Road, Suite 975
Dallas, TX 75254
Attn: John Ray

Space Above This Line For Recording Data

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS that **MGX II, LLC**, a Maine limited liability company with a principal place of business in Kittery, County of York and State of Maine, in consideration of one dollar and other valuable consideration, grants to **SHM Kittery Point, LLC**, a Delaware limited liability company with a place of business in Dallas, County of Dallas, and State of Texas, with WARRANTY COVENANTS, a certain lot or parcel of land, together with any improvements thereon, situated in the Town of Eliot, County of York and State of Maine, and described on the attached **Exhibit A**, which is made a part hereof for all purposes, together with all and singular the rights, benefits, privileges, easements, tenements, hereditaments and appurtenances thereon or in anywise appertaining thereto, and together with all improvements located thereon and any right, title and interest of Grantors in and to adjacent streets, alleys and rights-of-way (said land, rights, benefits, privileges, easements, tenements, hereditaments, appurtenances, improvements and interests being hereinafter referred to as the “**Property**”).

This conveyance is made and accepted subject to those certain matters all as more particularly described on **Exhibit B** attached hereto and incorporated herein by this reference (the “**Permitted Exceptions**”); provided, however, that the reference to the Permitted Exceptions shall not be deemed to reimpose same.

TO HAVE AND TO HOLD the Property, subject to the Permitted Exceptions, as aforesaid, unto the Grantees, and the Grantees’ legal representatives, successors and assigns

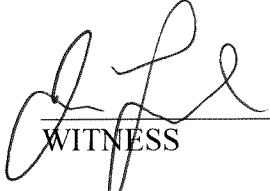
Maine R.E. Transfer Tax Paid

forever; and Grantors do hereby bind themselves and their heirs, executors, legal representatives, successors and assigns, to WARRANT AND FOREVER DEFEND all and singular the Property unto Grantees and Grantees' legal representatives, successors and assigns against every person whomsoever lawfully claiming or to claim the same, or any part thereof.


[Signature page follows]

IN WITNESS WHEREOF the said MGX II, LLC has caused this instrument to be executed by Thomas Allen, its Manager, duly authorized, this 2nd day of May, 2022.

MGX II, LLC



WITNESS

By: 


Thomas Allen, its Manager

STATE OF MAINE
York, ss.

May 2nd, 2022

Then personally appeared the above-named Thomas Allen, Manager of MGX II, LLC and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said limited liability company,

Before me,



~~Notary Public~~ / Attorney at Law

Print Name:

Benjamin Ford Benjamin E. Ford

My Commission Expires: Jan 20 4528 Bar No. 4528

EXHIBIT A

A certain lot or parcel of land, together with any buildings and appurtenances thereto, located on the Southwest side of Main Street, also known as State Route #103, in Eliot, County of York and State of Maine, and being further bounded and described as follows, to-wit:

BEGINNING at an iron pin found in the Southwest side of Main Street, also known as State Route #103, said iron pin making the Northeast corner of land now or formerly of Cummins; thence proceeding on a bearing of South 62° 44' 54" West along land now or formerly of Cummins, a distance of 286.56 feet, more or less, to a 24" cherry tree; thence continuing on a bearing South 61° 27' 53" West, along land now or formerly of Allain, a distance of 931.49 feet, more or less, to an iron pin found; thence continuing on a bearing of South 56° 42' 07" West, along land now or formerly of Allain, a distance of 174.70 feet, more or less, to an iron pin found near the high water mark of the Piscataqua River; thence continuing on the same bearing of South 56° 42' 07" West a short distance to the high water mark of the Piscataqua River; thence proceeding in a generally Northwesterly direction on a meandering line along the high water mark of the Piscataqua River (with a tie line bearing of North 45° 55' 36" West, a distance of 249.83 feet, more or less) to the edge of a right of way now or formerly of Daniel J. Taylor, Jr.; thence proceeding on a bearing of North 78° 33' 23" East, along said right of way, a short distance to a steel stake set at the end of said tie line call; thence continuing on the same bearing of North 78° 33' 23" East along said right of way, a distance of 76.13 feet, more or less, to a steel stake; thence proceeding on a bearing of North 57° 54' 36" East along said right of way, a distance of 478.53 feet, more or less, to a steel stake; thence continuing on a bearing of North 62° 44' 18" East, along said right of way and land now or formerly of said Taylor, a distance of 606.46 feet, more or less, to an iron pin found at the Northwest corner of land now or formerly of McLean; thence proceeding on a bearing of South 42° 25' 42" East, along land now or formerly of McLean, a distance of 84.67 feet, more or less, to an iron pin found; thence continuing on a bearing of South 39° 28' 14" East along land now or formerly of said McLean, a distance of 107.15 feet, more or less, to a steel stake set in the Southwest corner of land now or formerly of McLean; thence proceeding on a bearing of North 62° 44' 54" East, along land now or formerly of McLean and land now or formerly of Owens, a distance of 264.00 feet, more or less, to a steel stake set in the Southwesterly sideline of said Main Street, also known as State Route #103; thence proceeding on a bearing of South 38° 37' 12" East along the Southwesterly line of said Main Street, a distance of 31.31 feet, more or less, to the point of beginning. The subject premises comprise 6.15 acres, more or less.

Also including as part of the conveyance all of the grantor's right, title and interest in and to a pier commencing at the southwesterly corner of the subject premises and extending in a southwesterly direction into the Piscataqua River.

The above description is based upon a standard boundary survey of land of Cianbro Corporation, prepared by Kenneth D. Markley, Registered Land Surveyor No. 1322, on May 15, 1989. This survey plan is recorded in the York County Registry of Deeds in Plan Book 181, Page 14 and reference is made to said plan for a complete description of the premises herein conveyed.

Also conveying any property which is generally to the south of the property line located off Main Street, Eliot, County of York and State of Maine, said property line described as follows:

BEGINNING at the most northerly corner of land now or formerly belonging to ALPAT CO., INC., said corner is shown as a 1" diameter iron pipe buried 3" (found) on a plan entitled "Standard Boundary Survey and Subdivision Plan for The Taylor Family Estate", prepared by J.A. Davis & Associates, dated 01/12/2001, Scale 1" = 60', recorded at Plan Book 261, Page 23 of the York County Registry of Deeds. Said 1" diameter iron pipe is also southwesterly on a course bearing of South 60° 57' 36" West, a distance of 268.32 feet from a 3"x 4 1/2"x 9" high granite bound with drill hole at Main Street, also shown on said plan; thence property line in common continues on a course of South 62° 29' 17" West for a distance of 606.46 feet to a T-Bar with Easterly Surveying, stainless steel cap; thence South 57° 39' 35" West for a distance of 478.53 feet to another T-Bar with Easterly Surveying, stainless steel cap; thence on the same course of South 57° 36' 35" West for a distance of 73.21 feet to a rebar and cap set on 12/29/00, and to the low water mark of the Piscataqua River.

Expressly excluding any property which is generally to the north of the property line described in the immediately preceding paragraph.

Also hereby conveying an appurtenant easement to benefit the property now or formerly of ALPAT Co., Inc. conveyed by this deed and by a prior deed described at Book 5972, Page 209 of the York County Registry of Deeds, to remaining intertidal land in the Piscataqua River to use any intertidal land currently used for docks, piers, floats, and moorings, and other currently existing structures in the intertidal land in the Piscataqua River, including with this appurtenant easement the right to access these existing structures for the purpose of repairing, maintaining and accessing and using these structures. This easement shall not permit the installation of any additional structures in the intertidal land owned by the Estate of Daniel J. Taylor, Jr., its successors and/or assigns, that do not currently exist.

Said premises are also conveyed together with the benefit of an easement from P J & A, LLC to ALPAT CO, Inc. dated March 26, 2003 over the following described premises:

A certain tract or parcel of land located on the southwest side of Main Street, also known as Route 103, in the Town of Eliot, County of York and State of Maine, depicted as "PROPOSED RIGHT OF WAY FOR TAX MAP 10 LOT 2" on a certain plan entitled "STANDARD BOUNDARY SURVEY OF TAX MAP 10 LOT 2 & RIGHT OF WAY EXCHANGE PLAN FOR PROPERTIES at 167 1/2 & 169 Main Street (aka Route 103), Eliot, York County, Maine", dated 1/15/03, by Northeasterly Surveying, Inc. and recorded in the York County Registry of Deeds, and being more particularly described as follows:

Beginning at a point on the southwest sideline of said Main Street at the east corner of land of the grantor herein and thence running South 62° 43' 41" West a distance of 264.18 feet along land now or formerly of P J & A, LLC to an iron pipe; thence turning and running North 40° 39' 19" West a distance of 10.68 feet to a point; thence turning and running North 62° 43' 19" East a distance of 264.34 feet to the southeast sideline of said Main Street; thence turning and running South 39° 47' 49" East along the southwest sideline of said Main Street a distance of 10.67 feet to the point of beginning.

Being the same premises conveyed to MGX II, LLC by deed of ALPAT CO, INC. dated October 1, 2007, and recorded in the York County Registry of Deeds in Book 152370,

Page 710. See also Release Deed from Cianbro Corporation to MGX II, LLC dated February 16, 2022 and recorded in said Registry of Deeds in Book 18959, Page 500.

EXHIBIT B

Permitted Exceptions

1. Taxes and assessments for the year 2022 and subsequent years, a lien not yet due and payable.
2. Rights of others for ingress and egress to an existing cemetery located within the insured premises.
3. Such state of facts as set forth on a plan entitled "Standard Boundary Survey of Land of Cianbro Corporation, Maine Street (Route 103) Eliot, Maine" dated May 15, 1989 prepared by Easterly Surveying and recorded in Plan Book 181, Page 14, and as shown on the ALTA/NSPS survey of the property prepared by Earl N. Strom, PLS 2224, last revised February 18, 2022, Surveyor Drawing No. 21-09-027 (the "Survey").
4. Easements and rights as set forth in an Easement Deed from Alpat Co Corporation to Central Maine Power Company and New England Tel. & Tel. Co. dated March 31, 1992 and recorded in Book 6079, Page 199 and as shown on the Survey.
5. Such state of facts as set forth on a plan entitled "Standard Boundary Survey and Subdivision for Tax Map No. 10, Lot No. 5, 173 Main Street, Eliot Maine 03903, York County, Prepared For: Taylor Family Estate, 173 Maine Street, Eliot, Maine 03903" dated January 12, 2001, prepared by J.A. Davis & Associates and recorded in Plan Book 261, Page 23, and as shown on the Survey.
6. Conditions and restrictions for an appurtenant easement as set forth in Deed of Sale by Personal Representative (Testate) from Danelle Taylor Hughes to ALPAT Co, Inc. dated January 18, 2001 and recorded in Book 10404, Page 33, and as shown on the Survey.
7. Conditions regarding an appurtenant easement as set forth in an Easement Deed from P J & A, LLC to ALPAT Co., Inc. dated March 26, 2003 and recorded in Book 14531, Page 176, and as shown on the Survey.



**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

Stormwater Management

Stormwater Maintenance/Inspection Plan

During the construction of the building addition and drainage facilities, maintenance of all erosion, sedimentation, and stormwater flow control structures and devices will be the responsibility of HL Patten Construction.

HL Patten Construction will be responsible for the continued maintenance of the stormwater collection system during construction.

During construction, all erosion control devices and structures shall be checked weekly and after each “significant rainfall”**. Necessary repairs will be made to correct undermining or deterioration of the devices and/or structures.

After construction, SHM Kittery Point, LLC will be responsible for the continued maintenance of all stormwater BMPs. The BMPs shall be checked annually and after major storm events. Sediment in the catch basins will be removed annually or as needed to maintain functionality of the facility.

HL Patten Construction and SHM Kittery Point, LLC shall maintain inspection logs (attached) of all stormwater and erosion control measures. The log shall reflect the dates of the inspections and describe actions taken. The log shall be kept on file for a minimum of 5 years and be made available to the Town upon request.

If invasive species are observed in any of the stormwater facilities, they shall be removed immediately. Any damage to the surface of the basins or filters shall be repaired and stabilized as soon as possible after disturbance.

The activities listed in the inspection log will be accomplished in early spring and in late fall.

A major storm event is classified as a rainfall exceeding 2.0 inches in a 24-hr storm event.

** Significant rainfall is 0.5” in 24 hr

J:\aaa\2022\2229100\DRAINAGE\20230509_2229100-Stormwater Maintenance Plan.docx



During Construction

During construction, maintenance shall be performed routinely on all erosion and sediment control BMPs. Refer to the following list of erosion and sediment control procedures.

Dust Control

Stabilize all laydown areas and all unpaved surfaces with a base gravel or coarse gravel as soon as possible. Use traffic control to restrict speed and route.

Water Application with frequent reapplication during warm sunny days will mitigate dust. The distribution of water should not cause turbid runoff.

Sweep and Vacuum paved road surface when dry. Sweep from the centerline to the edge of the travel way. Do not sweep into a waterbody or wetland. The public roadway may also require sweeping.

Construction Entrance

The entrance/exit pad should have a length of 50 feet or more and a 12-foot minimum width (or as appropriate to contain the wheel base of construction vehicles plus 3 feet on either side). The pad should be 6 inches or more thick with angular aggregate (2-3 inch diameter). Appropriate reclaimed concrete material may be used. The aggregate should be placed over a geotextile filter to prevent the stones from pushing into the native soil. At the bottom of slopes, a diversion ridge should be provided to intercept runoff. Berms may be necessary to divert water around any exposed soil, and runoff should be directed to a sediment trap. The pad should be inspected weekly, and before and after each storm. The pad may have to be replaced if the voids become filled with sediment. Street sweeping may be necessary.

Sediment Controls – All sediment controls shall be checked weekly and after significant rainfalls.

Silt Fence - The fence should be anchored to resist pull-out, and be stretched tightly between stakes to prevent sagging. A 6-inch wide and 6-inch deep trench should be excavated upgradient of the fence line to key the “flap” of the fabric. The trench is backfilled and compacted. When joints are necessary, filter cloth should be spliced by wrapping end stakes together. In areas where the flap cannot be keyed properly (due to frozen ground, bedrock, stony soil, roots, near a protected natural resource, etc.), the silt fence should be anchored with aggregate, crushed stone, erosion control mix, or other material.

Erosion Control Mix Berm - It may be necessary to cut, pack down or remove tall grasses, brush or woody vegetation to avoid voids and bridges that allow the washing away of fine soil particles. The ECM berm should be a minimum of 12” high and a minimum of two feet wide. On longer or steeper slopes, the berm will need to be wider and higher. Berms composed of ECM can be reshaped when necessary.

Storm Drain Inlet Protection - An inlet protection (storm drain drop inlet or curb inlet) captures sediment before runoff enters a catch basin. It is not effective for silts and clays. Various types of off-the-shelf devices are acceptable if installed, used, and maintained as specified by the manufacturer.

Overwinter Construction – The winter construction period runs from November 1st through April 15th; however no vegetation growth should be anticipated past October 15th in southern Maine. Additional stabilization measures should be provided by November 1st for winter and spring snowmelt if a construction site is not permanently stabilized with pavement, a gravel road base, 90% mature vegetation cover, erosion control mulch, or riprap. Ideally, permanent seeding should occur 45 days before the first killing frost (different dates for different Maine locations); otherwise, overwinter mulching is necessary.



Mulching – Mulching is the application of an organic cover over exposed soil to protect its structure from the impact of raindrops, to reduce the potential for erosion, and to maintain soil permeability and moisture for vegetation uptake. Erosion will occur where the soil does not have firm and continuous contact with an erosion control cover. Mulch must remain until the site is permanently stabilized or revegetated. Mulching shall be performed per weather prediction, soil erodibility, season, extent of disturbance, etc. within 7 days in sensitive areas (within 100 feet of a natural resource) or within 14 to 30 days in other areas.

Hay/Straw Mulch - Hay (straw will not import weeds) mulch prevents rain drop erosion, protects new seeding from sun exposure, and maintains moisture during germination. Loose mulch is not effective in windy areas, in areas of groundwater seepage or in channels with concentrated flows. Temporary mulch should be applied to areas that will not be actively worked for more than 14 days (7 days in sensitive areas). Application rate should be 2 bales (70-90 pounds) per 1000 square feet or 1.5 to 2 tons (90-100 bales) per acre and must be evenly distributed. Provide a mulch cover to soil stockpiles. Anchoring should be provided in areas with strong wind or on slopes greater than 5%. Hay mulch should be limited to slopes flatter than 2:1 unless short (less than 10 feet), and in non-seepage areas. Another measure should be used on steeper slopes with a high runoff potential. Anchoring can be accomplished by punching, crimping the mulch into the soil or tracking with a punch-roller or a knife blade roller. Walking and punching with a spade or shovel may be practicable on very small sites. Peg and twine or netting should be installed per the manufacturer's recommendations. Non-biodegradable plastic netting should be removed after the site is revegetated. Apply additional mulch if not revegetated with 90% grass uptake.

Erosion Control Blankets - An erosion control blanket could be used in the following conditions:

- Vegetated waterways and ditches; but not in areas of groundwater seepage
- Steep slopes (15% or greater and up to 2:1)
- In protected natural resource areas
- On areas that may be slow to revegetate
- For overwinter stabilization (November 1st - April 15th)

The soil surface should be finely graded and smooth for the blanket to have direct contact with the soil and to prevent undermining. Erosion control blankets perform best on loamy soils and should not be used on rocky sites or shallow soils. Seed should be sown before installing the erosion control blanket. Always unroll the blanket downhill without stretching and anchor the upslope edge in a 12 inch deep trench that is backfilled and tamped. Overlap shingle style a minimum of 12 inches at the top of each row and 4 inches at the edges of parallel rows. Anchor along the overlap with a maximum spacing of 3 feet or as required by the manufacturer.

Erosion Control Mix - Erosion control mix can be used on frozen ground, forested areas, on cut and fill slopes, and on roadside embankments. Apply a thickness of 2 inches on 3:1 slopes or less and add an additional 1/2 inch per 20 feet of slope or up to 4 inches for a 100 foot slope. On slopes greater than 3:1, 4 inches or more of material is recommended; and if slopes are greater than 60 feet long, 5 inches are needed. Erosion control mix is not recommended for slopes steeper than 1:1. The mix must be distributed evenly with a hydraulic bucket, pneumatic blower, or by hand. Other reinforcement BMPs (i.e. riprap) should be used on slopes with groundwater seepage, within drainage channels and their outlets, or in gullies.



Slopes – To be effective, slope stabilization and reinforcement should be adapted to the soil type, angle and length of the slope, presence of surface or groundwater, depth to bedrock, etc. Consultation with a civil engineer is advised for slopes that are over six feet, steeper than 1.5:1 grade, on unstable soils, with groundwater seeps, or where a structure is located near the top of the bank. A proper permit and design may be required for an embankment repair near a waterbody.

Cuts and Fills - Erosion potentials on fill slopes depend upon the depth of the fill, steepness, watershed size and presence of water. Fill slopes are more unstable than cut slopes from being disturbed or if lacking fines for proper compaction. In a wet area, gravel fill is preferred; but is at risk of being unstable. Terracing prevents surface runoff and promotes vegetation establishment by retaining moisture. The time between initial exposure and final stabilization should be minimized to prevent soil loss. Divert clean water away from the area and disperse to an undisturbed buffer or swale. For a fill slope, the native area should be cleared, grubbed, and scarified to a 3-inch depth. When working in below freezing temperatures, the ground should be scarified immediately before adding fill. The fill should be free of brush, rocks, or roots, and should not include frozen, soft or mucky material. The fill should be placed and compacted in 8-inch lifts to reduce lenses of loose soil. When filling or cutting a long slope (greater than 20 feet), benches (or terraces) should be provided to direct runoff away from the slope. The number of benches should be based upon the erodibility of the soil, steepness of the slope, and groundwater seeps. Mulch any soil exposed for longer than 7 days and with seed if ready for revegetation. Rill or gully erosion should be repaired immediately. Use winter stabilization practices if the construction is stopped for the winter months.

Geotextiles - Geotextiles should be placed with 12 inch overlaps and keyed 6 to 12 inches at the top and bottom of the area. Avoid using damaged cloth. **Woven Geotextiles** are mostly used for soil reinforcement beneath sharp, angular aggregates if dropped more than 5 feet; and where the cover will be more than 10 feet thick. It may be used for seepage management if the fabric's openings are smaller than the soil gradation. A woven filter fabric is usually used in a road base to provide bearing capacity and linear strength over soft subsoil. **Nonwoven Geotextiles** will retain more fine particles than woven geotextiles; and may allow water seepage without clogging. Nonwoven geotextiles have a rough surface that will bond soil layers and resists sliding along the planes of contact.

Riprap Protection - Riprap is used for structural support when a slope cannot be vegetated due to length or steepness of the slope, groundwater or surface water seepage, poor soil conditions, flowing water, etc. On a long slope, larger stones are used and placed at the bottom of the embankment and gradually grading down to smaller stones toward the top. A riprap stabilization project is composed of three sections:

- The surface armor layer of rough, angular rocks.
- The filter layer (a sand and gravel layer and/or a geotextile fabric) that supports the stones against settlement, allows groundwater to drain through the structure, and prevents the soil beneath from being washed through the riprap layer.
- The toe protection that reinforce the slope and prevents movement of the riprap. It is usually anchored in a trench at the toe of the slope.

Pipe Outlet Protection – Pipe outlet protection is the armor and/or plunge pool at the outlet of a culvert that prevents scour or turbulence, and will dissipate the flow energy from the pipe to the channel. For channels with a continuous flow, the culvert should be imbedded one quarter (1/4) its diameter to prevent a 'hanging' condition (drop from the pipe outlet to channel).



Post Construction – Routine Ongoing Maintenance

Sweeping

Paved surfaces shall be swept or vacuumed at least annually in the Spring to remove all Winter sand, and periodically during the year on an as-needed basis to minimize transportation of sediment during rainfall events. **Applicable to: All parking lots and travel ways on site.**

Roadways and Parking Surfaces				
	Spring	Fall or Yearly	After a Major Storm	Every 2– 5 Years
Clear accumulated winter sand in parking lots and along roadways	X			
Sweep pavement to remove sediment	X			
Clean-out the sediment within water bars or open top culverts	X			
Ensure that stormwater is not impeded by accumulations of material or false ditches in the shoulder	X			

Vegetated Areas

All areas of maintained lawn are to be inspected regularly for signs of erosions and channelization. Areas where erosion is occurring or areas of sparse growth shall be replanted and stabilized. Channelized flows from the eroded land shall be diverted to buffers or other areas able to withstand the high sediment load in the erosive runoff. **Applicable to: Lawn areas receiving/conveying flows in any storm event.**

Vegetated Areas				
	Spring	Fall or Yearly	After a Major Storm	Every 2– 5 Years
Inspect all slopes and embankments	X		X	
Replant bare areas or areas with sparse growth	X		X	
Armor areas with fill erosions with an appropriate lining or divert the erosive flows to on-site areas able to withstand concentrated flows	X		X	

Ditches, Swales and Culverts

Open swales and ditches need to be inspected on a monthly basis or after a major rainfall event to assure that debris or sediments do not reduce the effectiveness of the system. Debris needs to be removed at that time. Any sign of erosion or blockage shall be immediately repaired to assure a vigorous growth of vegetation for the stability of the structure and proper functioning.

Vegetated ditches should be mowed at least monthly during the growing season. Larger brush or trees must not be allowed to become established in the channel. Any areas where the vegetation fails will be subject to erosion and should be repaired and revegetated.

If sediment in culverts or piped drainage systems exceeds 20% of the diameter of the pipe, it should be removed. This may be accomplished by hydraulic flushing or any mechanical means; however, care should be taken to not flush the sediments into the retention/detention pond as it will reduce the pond's capacity and hasten the time when it must be cleaned. All pipes should be inspected on an annual basis.



Stormwater Channels				
	Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years
Inspect ditches, swales and other open stormwater channels	X	X	X	
Remove any obstructions and accumulated sediments or debris	X	X		
Control vegetated growth and woody vegetation		X		
Repair any erosion of the ditch lining		X		
Mow vegetated ditches		X		
Remove woody vegetation growing through riprap		X		
Repair any slumping side slopes	X	X		
Replace riprap where underlying filter fabric or underdrain gravel is showing or where stones have dislodged	X			X

Catch Basins/Manholes

All catch basins, and any other field inlets throughout the collection system, need to be inspected on a monthly basis to assure that the inlet entry point is clear of debris and will allow the intended water entry. These will be cleared, if necessary on a yearly basis or when sediment reaches two thirds of total volume. Catch basins and manholes need to be vacuumed and cleaned of all accumulated sediment. This work must be done by a vacuum truck. The removed material must be disposed of in accordance with the Maine Solid Waste Disposal Rules.

Catch Basin/Manhole Systems				
	Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years
Remove and legally dispose of accumulated sediments and debris from the bottom of the basin, inlet grates, inflow channels to the basin, and pipes between basins.	X	X		
Remove floating debris and floating oils (using oil absorptive pads) from any trap designed for such	X	X		

Trench Drain

Trench Drains need to be inspected on a monthly basis to assure that the inlet entry point is clear of debris and will allow the intended water entry. Remove loose objects around the trench drain grate to prevent blockages of the drain. This includes rocks, plastics, litter, and leaves. Sweeping and spraying the surrounding area will help prevent clogging. The removed material must be disposed of in accordance with the Maine Solid Waste Disposal Rules.

Trench Drain				
	Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years
Clean the trench drain on a monthly basis to prevent buildup from slowing down the drainage system.	X	X	X	
Remove and legally dispose of accumulated sediments and debris surrounding the trench drain to prevent future blockages.	X	X	X	



Dripline Filter

Monitoring and Inspections: The infiltration area should be inspected several times in the first year of operation and at least biannually thereafter. Conduct inspections after large storms to check for surface ponding that may indicate clogging. Water levels in the observation wells (if applicable) should be recorded over several days after the storm to ensure that the system drains as designed. Records should be kept of all maintenance operations to help plan future work and identify problem areas.

Inspecting Embankments for Instability and Erosion: Embankments should be inspected annually for erosion, destabilization of side slopes, embankment settling, and other signs of structural failure. Corrective action should be taken immediately upon identification of problems.

Measure of Sediment Accumulation, and Points of Access for Sediment Removal: If impounded water does not drain within 72 hours, sediment at the surface of the filter shall be removed and disposed of appropriately. Marked rods shall be installed to determine the amount of sediment accumulation at the surface of the filter.

Clearing Outlet Structures: The outlet structures should be checked periodically to ensure that they are not blocked by debris. Inspections should be conducted monthly during wet weather conditions from March to November.

Harvesting and Weeding: Harvesting and pruning of excessive growth will need to be done occasionally. Weeding to control unwanted or invasive plants may also be necessary.

Snow Storage: Snow removed from any on-site or off-site areas may not be stored over dripline filter.

Dripline Filter				
	Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years
Inspect the embankments for destabilization, slope erosion, internal piping, and downstream swamping. A professional engineer must review these immediately.	X	X	X	
Remove and dispose of sediments and debris on the surface of the filter	X	X		X
The filter should be inspected several times in the first several months and at least annually thereafter	X	X		
Confirm infiltration rates via observation wells (if applicable) and monitor sediment accumulation on the basin surface via marked rods, remove sediment as needed (see below)	X	X	X	
The top several inches of the filter shall be replaced with fresh material when water ponds on the surface of the filter for more than 72 hours. The removed sediments should be disposed in an acceptable manner. A professional engineer shall review the condition of the facility to determine if additional actions are necessary to restore infiltration function.				X
Harvesting and pruning of excessive growth will need to be done occasionally. Weeding to control unwanted or invasive plants may also be necessary		X		



Rip Rap Outlet

Stormwater Channels				
	Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years
Inspect ditches, swales and other open stormwater channels	X	X	X	
Remove any obstructions and accumulated sediments or debris	X	X		
Control vegetated growth and woody vegetation		X		
Repair any erosion of the ditch lining		X		
Mow vegetated ditches		X		
Remove woody vegetation growing through riprap		X		
Repair any slumping side slopes	X	X		
Replace riprap where underlying filter fabric or underdrain gravel is showing or where stones have dislodge	X			X

Rip rap outlets need to be inspected on a monthly basis or after a major rainfall event to assure that rip rap has not been damaged or deteriorated. Any sign of damage or deterioration shall be immediately repaired to assure proper erosion protection of the outlet.

Rip Rap Outlet				
	Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years
Inspect outlet for damage and deterioration. Repair damages immediately	X	X	X	



Stormwater Maintenance *SHM Kittery Point, LLC*

Post Construction Maintenance Checklist

This log is intended to accompany the Stormwater Management Facilities Maintenance Plan for HL Patten Construction and SHM Kittery Point, LLC’s Site Plan. The following items shall be checked, cleaned and maintained on regular basis as specified in the Maintenance Plan and as described in the table below. This log shall be kept on file for a minimum of five years and shall be available for review by the Town upon request. Qualified personnel familiar with drainage systems and soils shall perform all inspections.

Item	Maintenance Required & Frequency					Date Completed	Maintenance Personnel	Comments
Sweeping of Paved areas	Roadways and Parking Surfaces							
		Spring	Fall or Yearly	After a Major Storm	Every 2-5 Years			
	Clear accumulated winter sand in parking lots and along roadways	X						
	Sweep pavement to remove sediment	X						
	Clean-out the sediment within water bars or open top culverts	X						
Ensure that stormwater is not impeded by accumulations of material or false ditches in the shoulder	X							
Vegetated Areas	Vegetated Areas							
		Spring	Fall or Yearly	After a Major Storm	Every 2-5 Years			
	Inspect all slopes and embankments	X		X				
	Replant bare areas or areas with sparse growth	X		X				
Armor areas with fill erosions with an appropriate lining or divert the erosive flows to on-site areas able to withstand concentrated flows	X		X					



Ditches, Swales and Culverts	Stormwater Channels							
		Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years			
	Inspect ditches, swales and other open stormwater channels	X	X	X				
	Remove any obstructions and accumulated sediments or debris	X	X					
	Control vegetated growth and woody vegetation		X					
	Repair any erosion of the ditch lining		X					
	Mow vegetated ditches		X					
	Remove woody vegetation growing through riprap		X					
	Repair any slumping side slopes	X	X					
Replace riprap where underlying filter fabric or underdrain gravel is showing or where stones have dislodged	X			X				
Catch Basins/ Manhole	Catch Basin/Manhole Systems							
		Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years			
	Remove and legally dispose of accumulated sediments and debris from the bottom of the basin, inlet grates, inflow channels to the basin, and pipes between basins.	X	X					
Remove floating debris and floating oils (using oil absorptive pads) from any trap designed for such	X	X						
Trench Drain	Trench Drain							
		Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years			
	Clean the trench drain on a monthly basis to prevent buildup from slowing down the drainage system.	X	X	X				
Remove and legally dispose of accumulated sediments and debris surrounding the trench drain to prevent future blockages.	X	X	X					



	Dripline Filter							
		Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years			
Dripline Filter	Inspect the embankments for destabilization, slope erosion, internal piping, and downstream swamping. A professional engineer must review these immediately.	X	X	X				
	Remove and dispose of sediments and debris on the surface of the filter	X	X		X			
	The filter should be inspected several times in the first several months and at least annually thereafter	X	X					
	Confirm infiltration rates via observation wells (if applicable) and monitor sediment accumulation on the basin surface via marked rods, remove sediment as needed (see below)	X	X	X				
	The top several inches of the filter shall be replaced with fresh material when water ponds on the surface of the filter for more than 72 hours. The removed sediments should be disposed in an acceptable manner. A professional engineer shall review the condition of the facility to determine if additional actions are necessary to restore infiltration function.					X		
	Harvesting and pruning of excessive growth will need to be done occasionally. Weeding to control unwanted or invasive plants may also be necessary			X				
	Rip Rap Outlet							
		Spring	Fall or Yearly	After a Major Storm	Every 2- 5 Years			
Rip Rap Outlet	Inspect outlet for damage and deterioration. Repair damages immediately	X	X	X				



Stormwater Management System
SHM Kittery Point, LLC

Post Construction Inspection & Maintenance Log

BMP/System Component	Date Inspected	Inspector	Cleaning/Repair Needed (List Items/Comments)	Date of Cleaning/Repair	Performed By

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**CIVIL
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550

Stormwater Management System
HL Patten Construction

During Construction Inspection & Maintenance Log

BMP/System Component	Date Inspected	Inspector	Cleaning/Repair Needed (List Items/Comments)	Date of Cleaning/Repair	Performed By

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**CIVIL
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550



**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

Plan Set

SAFE HARBOR MARINAS BUILDING ADDITION 857 MAIN STREET ELIOT, MAINE

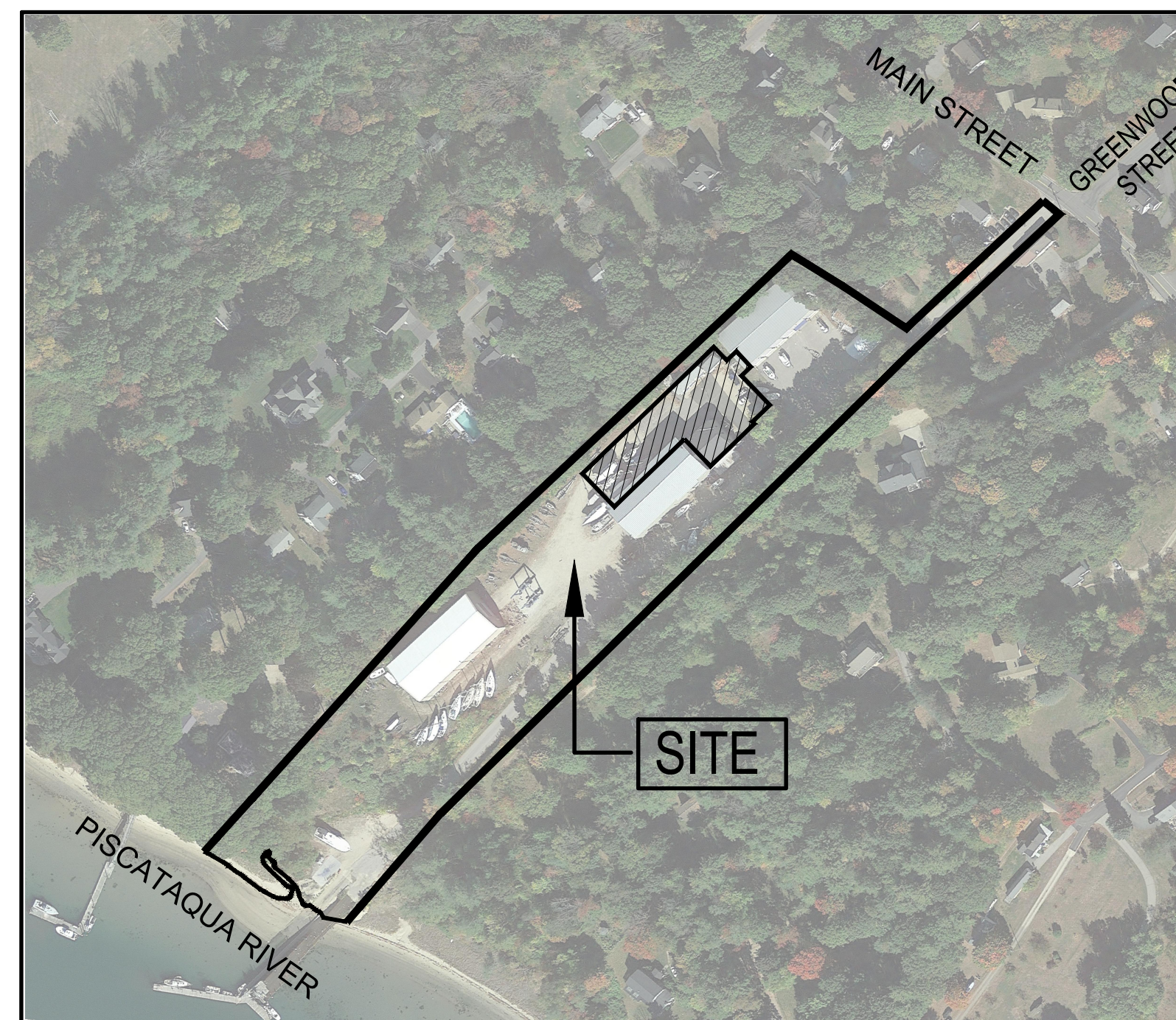


OWNER:



SAFE HARBOR
MARINAS

SHM Kittery Point, LLC



LOCATION PLAN

SHEET NUMBER	SHEET TITLE
DE1	DEMOLITION PLAN
L1	SITE PLAN
L2	SITE PLAN
L3	EXISTING CONDITIONS PLAN
L4	CONSTRUCTION DETAILS
L5	CONSTRUCTION DETAILS
L6	CONSTRUCTION DETAILS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	EXTERIOR ELEVATIONS
	SITE LIGHTING LAYOUT
	2022 ALTA/NSPS LAND TITLE SURVEY

CIVIL ENGINEER:



CIVIL CONSULTANTS

Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

ARCHITECT:



959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

DESIGN - BUILDER:



4 Shapleigh Rd.
Kittery, ME
207.439.2008



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Surveyors
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South Berwick
Maine
03908
207-384-2550
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NO.	REVISIONS	INT.	DATE

RECORD OWNER:
SHM KITTERY POINT, LLC
ADDRESS:
C/O SAFE HARBOR MARINAS
4785 PRESTON ROAD
SUITE 875
DALLAS, TX 75254

**PROPOSED BUILDING ADDITION
LAND OF SHM KITTERY POINT, LLC
857 MAIN STREET - TAX MAP 10, LOT 2
ELIOT, YORK COUNTY, MAINE**
PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
CLIENT ADDRESS: P.O. BOX 450, 4 SHAPLEIGH ROAD, KITTERY, ME 03904

AS NOTED
AS NOTED

DATE: 05/09/2023
DRAWN BY: JAA
CHECKED BY: GRA
APPROVED BY: GRA

COVER SHEET

PROJECT NO: 2229100

T1

SHEET: 1 OF 1

TAX MAP 10, LOT 2



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 Engineers
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 Surveyors
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 South Berwick
 Maine
 03908
 207-384-2550
 www.civcon.com

NO.	REVISIONS	DATE

RECORD OWNER:
 SHM KITTERY POINT, LLC
 ADDRESS:
 C/O SHM HARBOR MARINAS
 14765 PRESTON ROAD
 SUITE 875
 DALLAS, TX 75254

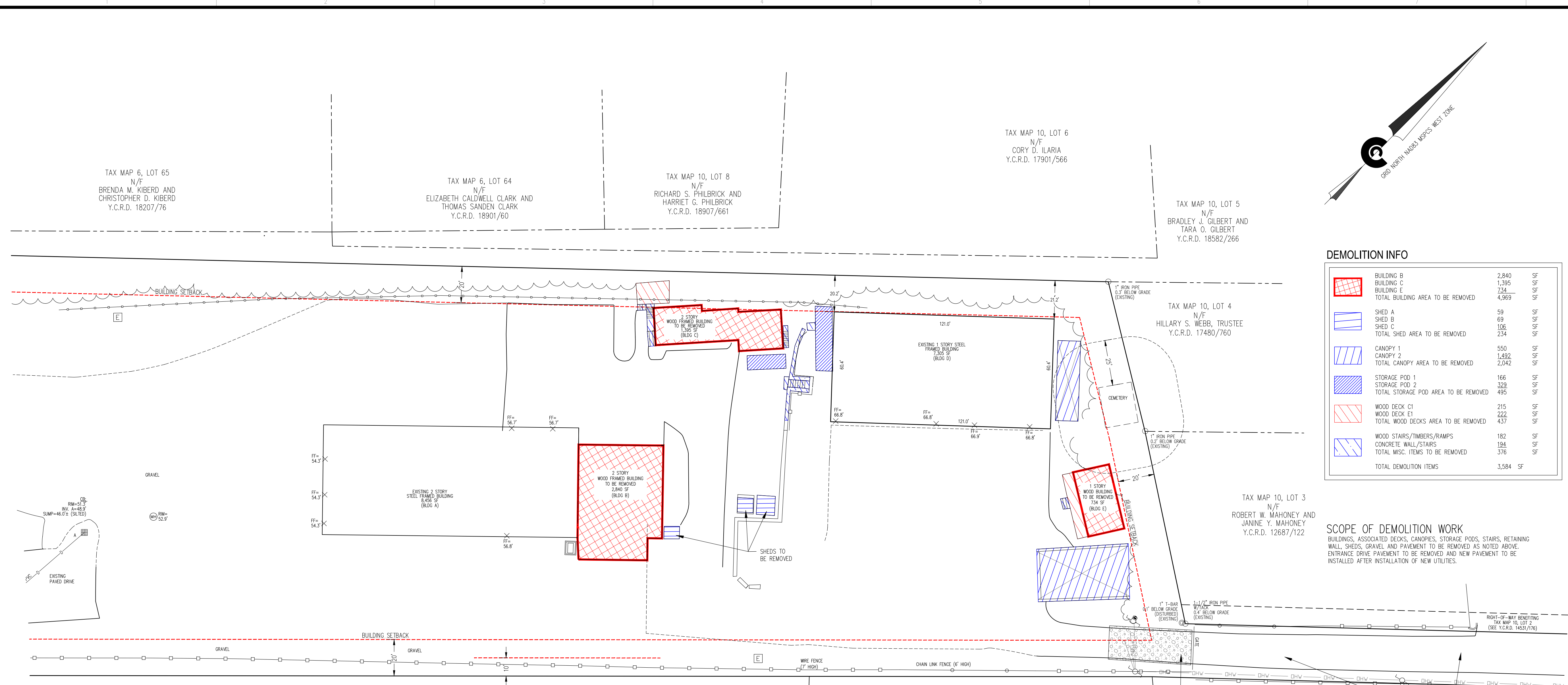
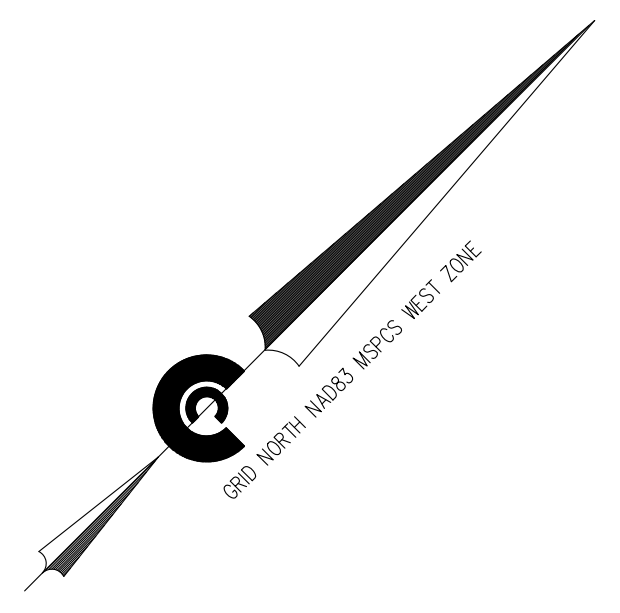
PROPOSED BUILDING ADDITION
LAND OF SHM KITTERY POINT, LLC
857 MAIN STREET - TAX MAP 10, LOT 2
ELIOT, YORK COUNTY, MAINE
 PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
 CLIENT ADDRESS: P.O. BOX 450, 4 SHAPLEIGH ROAD, KITTERY, ME 03904

DATE: 05/09/2023
 DRAWN BY: MPP/JAA
 CHECKED BY: GRA
 APPROVED BY: GRA

DEMOLITION PLAN

PROJECT NO: 2229100

DE1
 SHEET: 1 OF 1



DEMOLITION INFO

	BUILDING B	2,840	SF
	BUILDING C	1,395	SF
	BUILDING E	734	SF
	TOTAL BUILDING AREA TO BE REMOVED	4,969	SF
	SHED A	59	SF
	SHED B	69	SF
	SHED C	106	SF
	TOTAL SHED AREA TO BE REMOVED	234	SF
	CANOPY 1	550	SF
	CANOPY 2	1,492	SF
	TOTAL CANOPY AREA TO BE REMOVED	2,042	SF
	STORAGE POD 1	166	SF
	STORAGE POD 2	329	SF
	TOTAL STORAGE POD AREA TO BE REMOVED	495	SF
	WOOD DECK C1	215	SF
	WOOD DECK E1	222	SF
	TOTAL WOOD DECKS AREA TO BE REMOVED	437	SF
	WOOD STAIRS/TIMBERS/RAMPS	182	SF
	CONCRETE WALL/STAIRS	194	SF
	TOTAL MISC. ITEMS TO BE REMOVED	376	SF
	TOTAL DEMOLITION ITEMS	3,584	SF

SCOPE OF DEMOLITION WORK

BUILDINGS, ASSOCIATED DECKS, CANOPIES, STORAGE PODS, STAIRS, RETAINING WALL, SHEDS, GRAVEL AND PAVEMENT TO BE REMOVED AS NOTED ABOVE. ENTRANCE DRIVE PAVEMENT TO BE REMOVED AND NEW PAVEMENT TO BE INSTALLED AFTER INSTALLATION OF NEW UTILITIES.

LEGEND:

19017/667	DEED BOOK/PAGE NUMBER
CONC.	CONCRETE
HDPE	HIGH DENSITY POLYETHYLENE
INV.	INVERT
N/F	NOW OR FORMERLY
PVC	POLYVINYL CHLORIDE
VGC	VERTICAL GRANITE CURB
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
	CATCH BASIN
	MANHOLE (UNKNOWN UTILITY)
	PAVEMENT ELEVATION
	FINISH FLOOR ELEVATION
	SPOT ELEVATION
	APPROXIMATE UNDERGROUND DRAINAGE LINE
	DECIDUOUS TREE
	SURVEY BENCHMARK
	EXISTING IRON PIPE (AS NOTED)
	EXISTING IRON ROD OR REBAR (AS NOTED)
	LOCUS PARCEL BOUNDARY LINE
	APPROXIMATE ADJOINING PARCEL BOUNDARY LINE
	STATE PLANE COORDINATES (FEET)
	WIRE FENCE
	CHAIN LINK FENCE
	BUILDING SETBACK LINE
	EXISTING CONTOUR
	TREELINE
	SPOT GRADE
	FINISHED FLOOR ELEVATION
	ELECTRICAL BOX/TRANSFORMER
	OVERHEAD WIRE

NOTE:
 THIS PLAN INDICATES BUILDING SECTIONS AND STRUCTURES TO BE REMOVED AS PART OF THE BUILDING EXPANSION

TAX MAP 6, LOT 65
 N/F
 BRENDA M. KIBERD AND
 CHRISTOPHER D. KIBERD
 Y.C.R.D. 18207/76

TAX MAP 6, LOT 64
 N/F
 ELIZABETH CALDWELL CLARK AND
 THOMAS SANDEN CLARK
 Y.C.R.D. 18901/60

TAX MAP 10, LOT 8
 N/F
 RICHARD S. PHILBRICK AND
 HARRIET G. PHILBRICK
 Y.C.R.D. 18907/661

TAX MAP 10, LOT 6
 N/F
 CORY D. ILARIA
 Y.C.R.D. 17901/566

TAX MAP 10, LOT 5
 N/F
 BRADLEY J. GILBERT AND
 TARA O. GILBERT
 Y.C.R.D. 18582/266

TAX MAP 10, LOT 4
 N/F
 HILLARY S. WEBB, TRUSTEE
 Y.C.R.D. 17480/760

TAX MAP 10, LOT 3
 N/F
 ROBERT W. MAHONEY AND
 JANINE Y. MAHONEY
 Y.C.R.D. 12687/122

TAX MAP 6, LOT 63-1
 N/F
 RAMONA G. ROBINSON AND
 LUIS A. VALDEZ
 Y.C.R.D. 16627/168

TAX MAP 10, LOT 1
 N/F
 JUDITH M. THOMPSON AND
 MICHAEL S. THOMPSON
 Y.C.R.D. 7506/228

TAX MAP 6, LOT 63-2
 N/F
 STEPHEN M. MANERO
 Y.C.R.D. 17219/765



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 Maine
 03908
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NO.	REVISIONS	INT.	DATE

RECORD OWNER:
 SHM KITTERY POINT, LLC
 ADDRESS:
 C/O SHM HARBOR MARINAS
 1475 PRESTON ROAD
 SUITE 875
 DALLAS, TX 75254

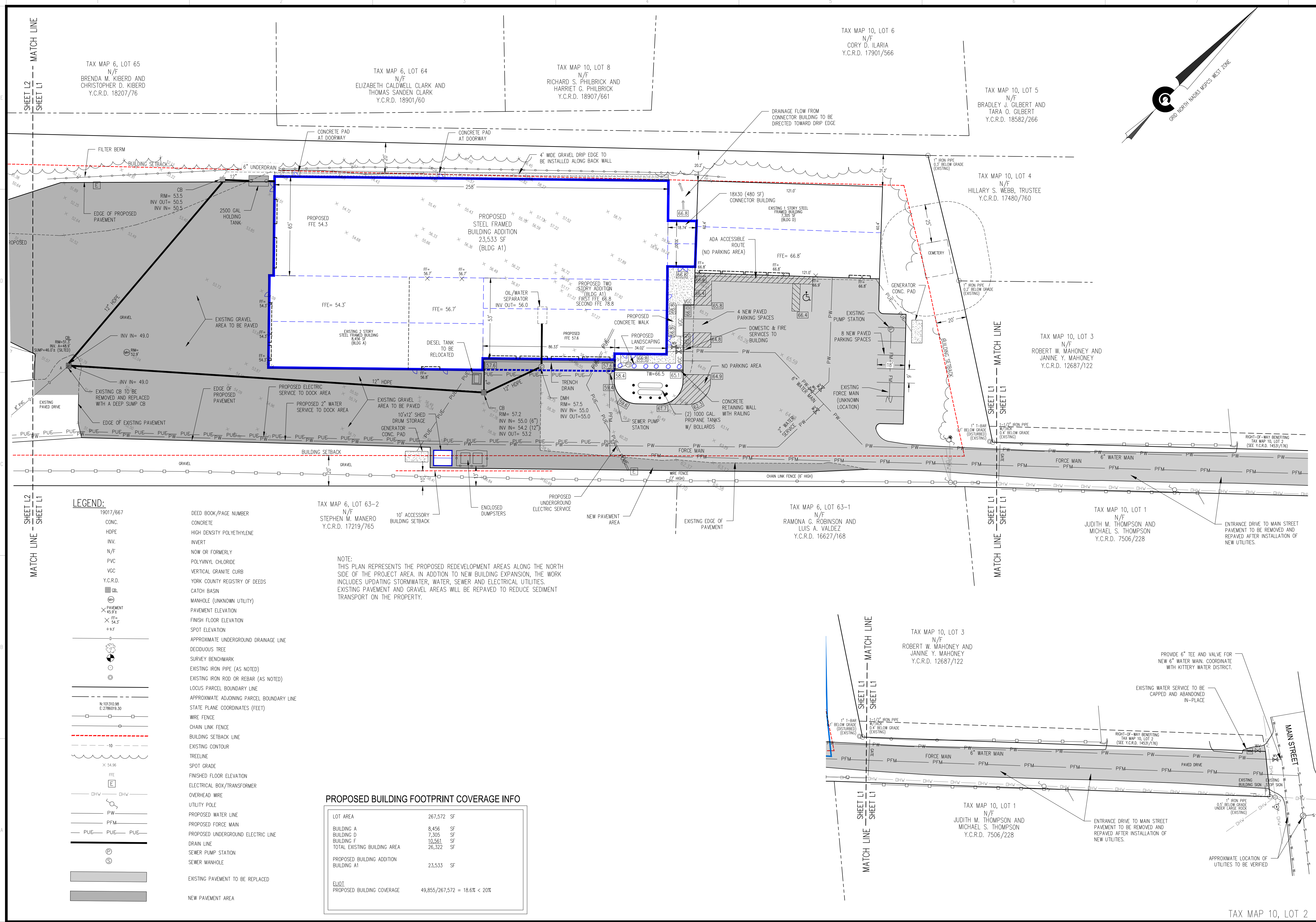
**PROPOSED BUILDING ADDITION
 LAND OF SHM KITTERY POINT, LLC
 857 MAIN STREET - TAX MAP 10, LOT 2
 ELIOT, YORK COUNTY, MAINE**
 PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
 CLIENT ADDRESS: P.O. BOX 450, 4 SHAPELEIGH ROAD, KITTERY, ME 03904

DATE: 05/09/2023
 DRAWN BY: MPP/JAA
 CHECKED BY: GRA
 APPROVED BY: GRA

SITE PLAN

PROJECT NO: 2229100

L1
 SHEET: 1 OF 6



LEGEND:

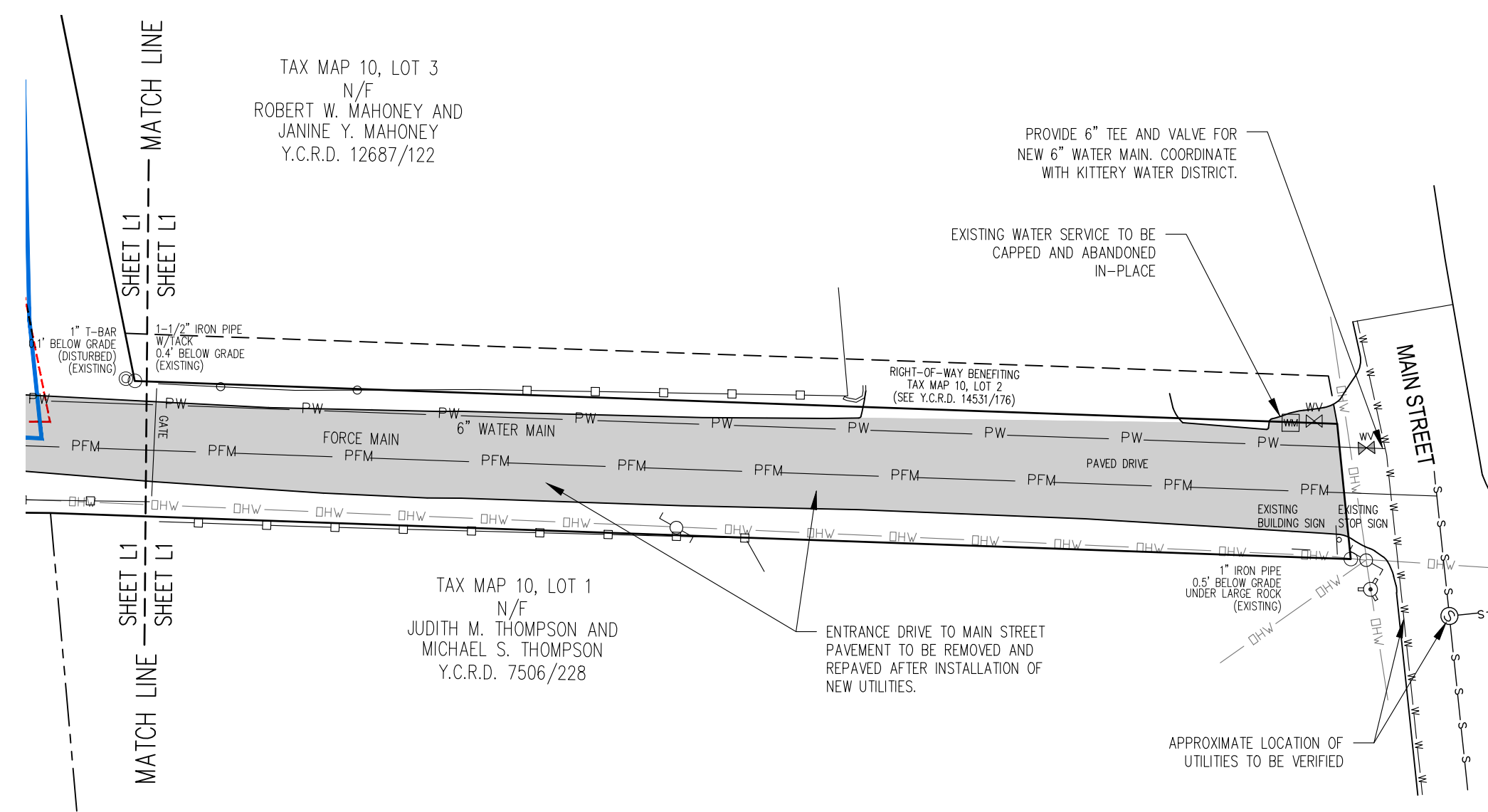
19017/667	DEED BOOK/PAGE NUMBER
CONC.	CONCRETE
HDPE	HIGH DENSITY POLYETHYLENE
INV.	INVERT
N/F	NOW OR FORMERLY
PVC	POLYVINYL CHLORIDE
VGC	VERTICAL GRANITE CURB
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
[Symbol]	CATCH BASIN
[Symbol]	MANHOLE (UNKNOWN UTILITY)
[Symbol]	PAVEMENT ELEVATION
[Symbol]	FINISH FLOOR ELEVATION
[Symbol]	SPOT ELEVATION
[Symbol]	APPROXIMATE UNDERGROUND DRAINAGE LINE
[Symbol]	DEODOUOUS TREE
[Symbol]	SURVEY BENCHMARK
[Symbol]	EXISTING IRON PIPE (AS NOTED)
[Symbol]	EXISTING IRON ROD OR REBAR (AS NOTED)
[Symbol]	LOCUS PARCEL BOUNDARY LINE
[Symbol]	APPROXIMATE ADJOINING PARCEL BOUNDARY LINE
[Symbol]	STATE PLANE COORDINATES (FEET)
[Symbol]	WIRE FENCE
[Symbol]	CHAIN LINK FENCE
[Symbol]	BUILDING SETBACK LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	TREELINE
[Symbol]	SPOT GRADE
[Symbol]	FINISHED FLOOR ELEVATION
[Symbol]	ELECTRICAL BOX/TRANSFORMER
[Symbol]	OVERHEAD WIRE
[Symbol]	UTILITY POLE
[Symbol]	PROPOSED WATER LINE
[Symbol]	PROPOSED FORCE MAIN
[Symbol]	PROPOSED UNDERGROUND ELECTRIC LINE
[Symbol]	DRAIN LINE
[Symbol]	SEWER PUMP STATION
[Symbol]	SEWER MANHOLE
[Symbol]	EXISTING PAVEMENT TO BE REPLACED
[Symbol]	NEW PAVEMENT AREA

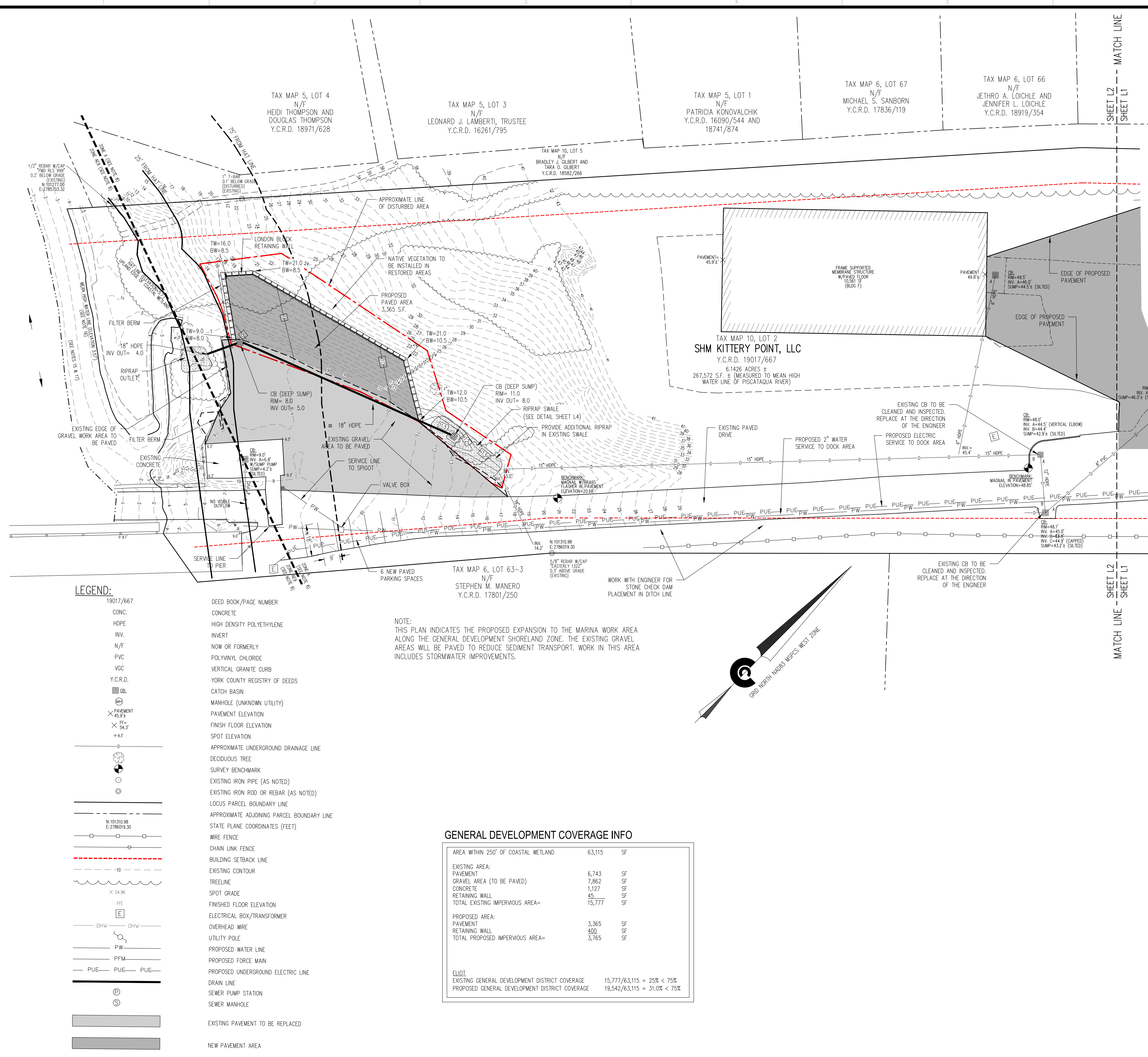
TAX MAP 6, LOT 63-2
 N/F
 STEPHEN M. MANERO
 Y.C.R.D. 17219/765

NOTE:
 THIS PLAN REPRESENTS THE PROPOSED REDEVELOPMENT AREAS ALONG THE NORTH SIDE OF THE PROJECT AREA. IN ADDITION TO NEW BUILDING EXPANSION, THE WORK INCLUDES UPDATING STORMWATER, WATER, SEWER AND ELECTRICAL UTILITIES. EXISTING PAVEMENT AND GRAVEL AREAS WILL BE REPAVED TO REDUCE SEDIMENT TRANSPORT ON THE PROPERTY.

PROPOSED BUILDING FOOTPRINT COVERAGE INFO

LOT AREA	267,572 SF
BUILDING A	8,456 SF
BUILDING D	7,305 SF
BUILDING F	10,561 SF
TOTAL EXISTING BUILDING AREA	26,322 SF
PROPOSED BUILDING ADDITION BUILDING A1	23,533 SF
ELIOT PROPOSED BUILDING COVERAGE	49,855/267,572 = 18.6% < 20%

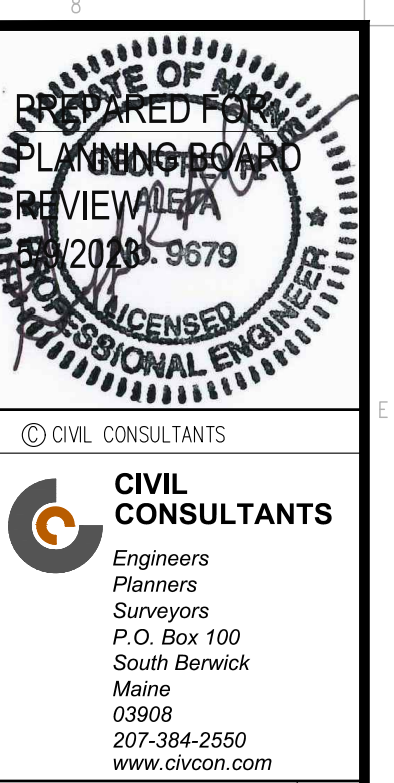




- NOTES:**
- PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS ON DECEMBER 29, 2022 AND JANUARY 4, 2023.
 - NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NGS PLUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 CORSSE EPOCH 2002.0000. THE SURVEY IS TIED TO CORRS STATIONS BOSTON WAAS 1 CORRS (2BW), BARTLETT CORRS (BAR) AND BRUNSWICK 1 CORRS (BRU1). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 0.999999740 (AVERAGE COMBINED SCALE FACTOR FOR THE SITE).
 - ELEVATIONS DEPICTED HEREON ARE REFERENCED TO NAVD88, DERIVED FROM THE ABOVE REFERENCED GPS SURVEY. [TO CONVERT NAVD88 ELEVATIONS TO NAVD29 ELEVATIONS ADD 0.76']
 - RECORD OWNER: SHM KITTERY POINT, LLC
 - ASSESSOR'S INFORMATION: TOWN OF ELIOT ASSESSOR'S MAP 10, LOT 2
 - DEED REFERENCE: Y.C.R.D. 19017/667
 - UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DISGAS AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - THE MAJORITY OF THE LOCUS PARCEL IS LOCATED IN "ZONE X", ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF ELIOT, MAINE, YORK COUNTY, COMMUNITY PANEL NUMBER 230149 0010 B, EFFECTIVE DATE JUNE 5, 1989. ZONE X IS DEFINED AS "AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN". A PORTION OF THE LOCUS PARCEL ADJACENT TO THE PISCATAQUA RIVER IS LOCATED IN "ZONE AE (ELEVATION 9)". ZONE AE (ELEVATION 9) IS DEFINED AS "SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD, BASE FLOOD ELEVATIONS DETERMINED". ELEVATION 9 (NGVD29) = ELEVATION 8.24' (NAVD88) (SEE NOTE 3 HEREON).
 - THE LOCUS PROPERTY IS IN THE V (VILLAGE) ZONING DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS: MINIMUM LOT SIZE=1 ACRE (43,560 SQUARE FEET), MINIMUM STREET FRONTAGE=100', MINIMUM FRONT YARD DIMENSION=30', MINIMUM SIDE YARD DIMENSION=20', MINIMUM REAR YARD DIMENSION=30', MAXIMUM HEIGHT=35' AND MAXIMUM LOT COVERAGE=20%. A PORTION OF THE LOCUS PROPERTY, ALONG THE PISCATAQUA RIVER, LOCATED IN FLOOD ZONE AE (ELEVATION 9), IS LOCATED IN THE RESOURCE PROTECTION DISTRICT. A PORTION OF THE LOCUS PROPERTY, LOCATED WITHIN 250' OF THE UPLAND EDGE OF A COASTAL WETLAND (PISCATAQUA RIVER) IS LOCATED IN THE GENERAL DEVELOPMENT DISTRICT. ALL NEW PRINCIPLE AND ACCESSORY STRUCTURES IN THE GENERAL DEVELOPMENT DISTRICT SHALL BE SETBACK AT LEAST 25' FROM THE UPLAND EDGE OF A COASTAL WETLAND. FOR COMPLETE ZONING INFORMATION REFER TO THE TOWN OF ELIOT ZONING ORDINANCE.
 - ACCORDING TO THE ELIOT ZONING ORDINANCE "COASTAL WETLAND" IS DEFINED AS "ALL TIDAL AND SUBTIDAL LANDS, ALL LANDS WITH VEGETATION THAT IS TOLERANT OF SALT WATER AND OCCURS PRIMARILY IN A SALT WATER OR ESTUARINE HABITAT; AND ANY SWAMP, MARSH, BOG, BEACH, FLAT OR OTHER CONTIGUOUS LOW LAND WHICH IS SUBJECT TO TIDAL ACTION DURING THE HIGHEST ANNUAL TIDE IN WHICH AN ACTIVITY IS PROPOSED AS IDENTIFIED IN TIDE TABLES PUBLISHED BY THE NATIONAL OCEAN SERVICE". THE UPLAND EDGE OF THE COASTAL WETLAND ALONG THE PISCATAQUA RIVER AS DEPICTED HEREON IS BASED ON ELEVATION 5.7' (NAVD88). REFERENCE IS MADE TO A DOCUMENT PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION ENTITLED "MAINE DEEP HIGHEST ANNUAL TIDE (HAT) LEVELS FOR YEAR 2016", SAID DOCUMENT LISTS ELEVATION 5.7' (NAVD88) AS THE HAT FOR FORTSMOUTH AND DOVER POINT.
 - THE PERMETER BOUNDARY DEPICTED HEREON IS BASED ON REFERENCE PLAN 1 AND FIELD LOCATION OF MONUMENTS DEPICTED ON REFERENCE PLAN 1. DEED RESEARCH HAS BEEN LIMITED TO THE TIME PERIOD BETWEEN 2022 AND PRESENT. CIVIL CONSULTANTS HAS NOT PERFORMED AN INDEPENDENT BOUNDARY RETRACEMENT SURVEY.
 - THE LOCUS PARCEL IS SUBJECT TO A UTILITY EASEMENT BENEFITING CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY AS SET FORTH IN Y.C.R.D. 6079/199 (SEE REFERENCE PLAN 1).
 - THE LOCUS PARCEL IS BENEFITED BY A VARIABLE WIDTH RIGHT-OF-WAY OVER LAND NOW OR FORMERLY OF ROBERT W. MAHONEY AND JANINE Y. MAHONEY (TAX MAP 10, LOT 3) AS SET FORTH IN Y.C.R.D. 14531/176 (SEE REFERENCE PLAN 1).
 - THE LOCUS PARCEL IS SUBJECT TO RIGHTS OF OTHERS FOR INGRESS AND EGRESS TO AND FROM THE CEMETERY IN THE PREMISES (SEE REFERENCE PLAN 1).
 - THE LOCUS PARCEL IS BENEFITED BY AN APPURTENANCE EASEMENT, SET FORTH IN Y.C.R.D. 10404/33, DATED JANUARY 18, 2001, "TO USE ANY INTERTIDAL LAND THAT THE GRANTEE CURRENTLY USES FOR DOCKS, PIERS, FLOATS, AND MOORINGS, AND OTHER CURRENTLY EXISTING STRUCTURES IN THE INTERTIDAL LAND IN THE PISCATAQUA RIVER, INCLUDING WITH THIS APPURTENANCE EASEMENT THE RIGHT TO ACCESS THESE STRUCTURES FOR THE PURPOSE OF REPAIRING, MAINTAINING AND ACCESSING AND USING THESE STRUCTURES WITH THE SAME SIZE WATERFRONT THAT CURRENTLY ACCESSES AND USES THESE STRUCTURES. THIS EASEMENT SHALL NOT PERMIT THE GRANTEE, ITS HEIRS, SUCCESSORS AND ASSIGNS, TO INSTALL ANY ADDITIONAL STRUCTURES IN THE GRANTEE'S INTERTIDAL LAND IN THE PISCATAQUA RIVER THAT DO NOT CURRENTLY EXIST".
 - THE MEAN HIGH WATER LINE OF THE PISCATAQUA RIVER, ELEVATION 3.57' (NAVD88) AS DEPICTED HEREON IS BASED ON INTERPOLATING BETWEEN THE PUBLISHED MEAN HIGH WATER LINE VALUES FOR NOAA TIDE STATION "8419870, SEAVEY ISLAND, ME" (ELEVATION 3.76' (NAVD88)) AND "8423005, ATLANTIC TERMINALS T14A NH" (ELEVATION 3.01' (NAVD88)) (TIDAL EPOCH 1983-2001).
 - THE BOUNDARY ALONG THE PISCATAQUA RIVER DESCRIBED IN Y.C.R.D. 19017/667 (MCX II, LLC TO SHM KITTERY POINT, LLC) APPEARS TO BE LIMITED TO THE "HIGH WATER MARK". REFERENCE IS MADE IN Y.C.R.D. 19017/667 TO A DEED RECORDED IN Y.C.R.D. 1809/500 WHEREIN GIAMBRO CORPORATION RELEASES TO MCX II, LLC, "ALL RIGHT, TITLE AND INTEREST TO ANY LAND, TOGETHER WITH ANY IMPROVEMENTS THEREON, LOCATED IN THE TOWN OF ELIOT, COUNTY OF YORK, STATE OF MAINE LYING BETWEEN THE HIGH AND LOW WATER MARKS OF THE PISCATAQUA RIVER ADJOINING THE PROPERTY DESCRIBED IN THE DEED FROM GIAMBRO CORPORATION TO ALPAT CO., INC. DATED FEBRUARY 14, 1992 AND RECORDED IN BOOK 5972, PAGE 209 IN SAID REGISTRY OF DEEDS; NOW OF THE GRANTEE BY VIRTUE OF THE DEED FROM ALPAT CO., INC. TO MCX II, LLC, THE GRANTEE HEREIN, DATED OCTOBER 1, 2007 AND RECORDED IN BOOK 15270, PAGE 710 OF THE YORK COUNTY REGISTRY OF DEEDS". THE INTERTIDAL AREA DOES NOT APPEAR TO BE SPECIFICALLY INCLUDED IN THE CONVEYANCE TO SHM KITTERY POINT, LLC. CIVIL CONSULTANTS RECOMMENDS CONSULTING WITH A TITLE ATTORNEY TO CLARIFY THE FEE OWNERSHIP IN THE INTERTIDAL LANDS ASSOCIATED WITH THE PISCATAQUA RIVER.
 - THE EASTERN PORTION OF THE PROPERTY WITHIN THE 250FT COASTAL SETBACK WAS THE RESULT OF A SURVEY BY CIVIL CONSULTANTS IN FEBRUARY 2023. EXISTING BUILDING ON THE PARCEL WERE VERIFIED IN LOCATION BY CIVIL CONSULTANTS. EXISTING FEATURES ON THE WESTERN PORTION OF THE PROPERTY WAS PROVIDED DIGITALLY IN AN AUTOCAD DRAWING (PLAN REFERENCE #1).

REFERENCE PLAN:

- "2022 ALTA/NSPS LAND TITLE SURVEY, SITE ADDRESS, 857 MAIN STREET, ELIOT, ME 03903, PREPARED FOR: SAFE HARBOR MARINAS, LLC, 14785 PRESTON ROAD, SUITE 975, DALLAS, TX 75254", DATED JANUARY 10, 2022, LAST REVISED FEBRUARY 18, 2022.



CIVIL CONSULTANTS
 Engineers
 Planners
 Surveyors
 P.O. Box 100
 South Berwick
 Maine
 03908
 207-384-2550
 www.civcon.com

RECORD OWNER:
 SHM KITTERY POINT, LLC
 ADDRESS:
 C/O SAFE HARBOR MARINAS
 14785 PRESTON ROAD
 SUITE 975
 DALLAS, TX 75254

**PROPOSED BUILDING ADDITION
 LAND OF SHM KITTERY POINT, LLC
 857 MAIN STREET - TAX MAP 10, LOT 2
 ELIOT, YORK COUNTY, MAINE**

PREPARED FOR:
 H.L. PATTEN CONSTRUCTION, INC.
 CLIENT ADDRESS:
 P.O. BOX 450, 4 SHAPLEIGH ROAD, KITTERY, ME 03904

DATE: 05/09/2023
 DRAWN BY: MPP/JAA
 CHECKED BY: GRA
 APPROVED BY: GRA

SITE PLAN

PROJECT NO: 2229100

L2

SHEET: 2 OF 6

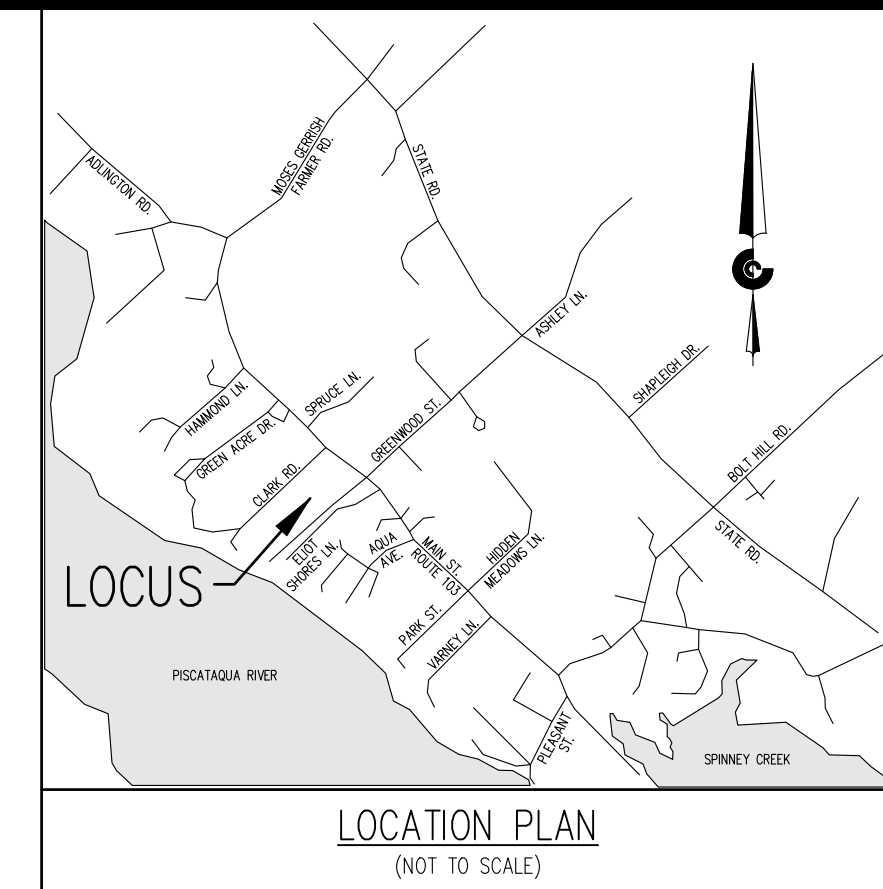
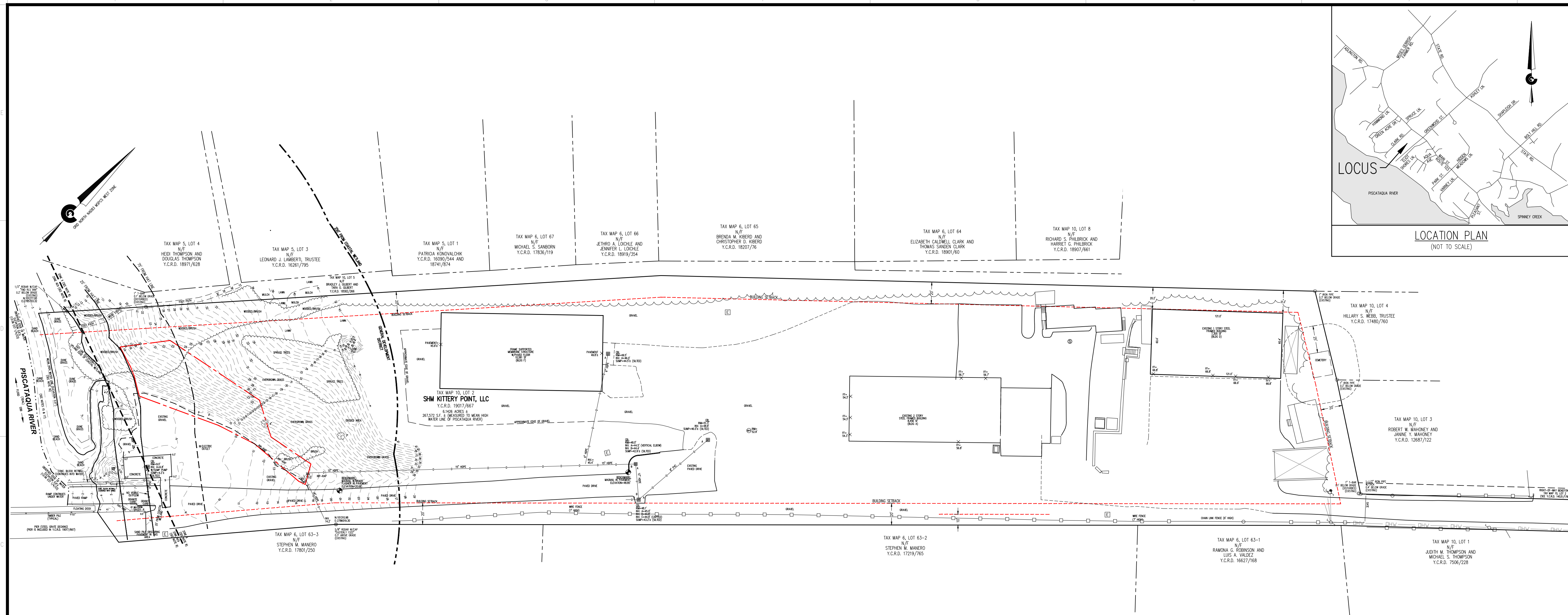
LEGEND:

19017/667	DEED BOOK/PAGE NUMBER
CONC.	CONCRETE
HDPE	HIGH DENSITY POLYETHYLENE
INV.	INVERT
N/F	NOW OR FORMERLY
PVC	POLYVINYL CHLORIDE
VCC	VERTICAL GRANITE CURB
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
CB	CATCH BASIN
MANHOLE	MANHOLE (UNKNOWN UTILITY)
PAVEMENT	PAVEMENT ELEVATION
FF	FINISH FLOOR ELEVATION
+3.7	SPOT ELEVATION
---	APPROXIMATE UNDERGROUND DRAINAGE LINE
○	DECIDUOUS TREE
○	SURVEY BENCHMARK
○	EXISTING IRON PIPE (AS NOTED)
○	EXISTING IRON ROD OR REBAR (AS NOTED)
---	LOCUS PARCEL BOUNDARY LINE
---	APPROXIMATE ADJOINING PARCEL BOUNDARY LINE
N 101310.98 E 2786019.30	STATE PLANE COORDINATES (FEET)
---	WIRE FENCE
---	CHAIN LINK FENCE
---	BUILDING SETBACK LINE
---	EXISTING CONTOUR
---	TREELINE
x 54.96	SPOT GRADE
IT	FINISHED FLOOR ELEVATION
EHV	ELECTRICAL BOX/TRANSFORMER
OHV	OVERHEAD WIRE
U	UTILITY POLE
PW	PROPOSED WATER LINE
PFM	PROPOSED FORCE MAIN
PUE	PROPOSED UNDERGROUND ELECTRIC LINE
---	DRAIN LINE
PS	SEWER PUMP STATION
MS	SEWER MANHOLE
---	EXISTING PAVEMENT TO BE REPLACED
---	NEW PAVEMENT AREA

NOTE:
 THIS PLAN INDICATES THE PROPOSED EXPANSION TO THE MARINA WORK AREA ALONG THE GENERAL DEVELOPMENT SHORELAND ZONE. THE EXISTING GRAVEL AREAS WILL BE PAVED TO REDUCE SEDIMENT TRANSPORT. WORK IN THIS AREA INCLUDES STORMWATER IMPROVEMENTS.

GENERAL DEVELOPMENT COVERAGE INFO

AREA WITHIN 250' OF COASTAL WETLAND	63,115	SF
EXISTING AREA:		
PAVEMENT	6,743	SF
GRAVEL AREA (TO BE PAVED)	7,862	SF
CONCRETE	1,127	SF
RETAINING WALL	45	SF
TOTAL EXISTING IMPERVIOUS AREA=	15,777	SF
PROPOSED AREA:		
PAVEMENT	3,365	SF
RETAINING WALL	400	SF
TOTAL PROPOSED IMPERVIOUS AREA=	3,765	SF
ELIOT		
EXISTING GENERAL DEVELOPMENT DISTRICT COVERAGE	15,777/63,115 = 25% < 75%	
PROPOSED GENERAL DEVELOPMENT DISTRICT COVERAGE	19,542/63,115 = 31.0% < 75%	



STATE OF MAINE
PLANNING BOARD
REVIEW AREA
2023-09-09
LICENSED PROFESSIONAL ENGINEER

CIVIL CONSULTANTS

CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

NO.	REVISIONS	INT.	DATE

RECORD OWNER:
SHM KITTERY POINT, LLC

ADDRESS:
C/O SHIP HARBOR MARINAS
14765 PRESTON ROAD
SUITE 975
DALLAS, TX 75254

**PROPOSED BUILDING ADDITION
LAND OF SHM KITTERY POINT, LLC
857 MAIN STREET - TAX MAP 10, LOT 2
ELIOT, YORK COUNTY, MAINE**

PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
CLIENT ADDRESS: P.O. BOX 450, 4 SHAPLEIGH ROAD, KITTERY, ME 03904

- NOTES:**
1. PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS ON DECEMBER 29, 2022 AND JANUARY 4, 2023.
 2. NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NGS ORUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 CORSUS EPOCH 2022.0000. THE SURVEY IS TIED TO CORS STATIONS BOSTON WAAS 1 CORS (ZBW1), BARTLETT CORS (BARN) AND BRUNSWICK 1 CORS (BRU1). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 0.999999740 (AVERAGE COMBINED SCALE FACTOR FOR THE SITE).
 3. ELEVATIONS DEPICTED HEREON ARE REFERENCED TO NAVD88, DERIVED FROM THE ABOVE REFERENCED GPS SURVEY. [TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATIONS ADD 0.76']
 4. **RECORD OWNER:** SHM KITTERY POINT, LLC
 5. **ASSESSOR'S INFORMATION:** TOWN OF ELIOT ASSESSOR'S MAP 10, LOT 2
 6. **DEED REFERENCE:** Y.C.R.D. 19017/667
 7. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIGSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 8. THE MAJORITY OF THE LOCUS PARCEL IS LOCATED IN "ZONE X", ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF ELIOT, MAINE, YORK COUNTY, COMMUNITY PANEL NUMBER 230149 0010 B, EFFECTIVE DATE JUNE 5, 1989. ZONE X IS DEFINED AS "AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN". A PORTION OF THE LOCUS PARCEL, ADJACENT TO THE PISCATAQUA RIVER IS LOCATED IN "ZONE AE (ELEVATION 9)". ZONE AE (ELEVATION 9) IS DEFINED AS "SPECIAL FLOOD HAZARD AREAS INUNDED BY 100-YEAR FLOOD, BASE FLOOD ELEVATIONS DETERMINED". ELEVATION 9 (NGVD29) = ELEVATION 8.24' (NAVD88) [SEE NOTE 3] HEREON].
 9. THE LOCUS PROPERTY IS IN THE V (VILLAGE) ZONING DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS: MINIMUM LOT SIZE=1 ACRE (43,560 SQUARE FEET), MINIMUM STREET FRONTAGE=100', MINIMUM FRONT YARD DIMENSION=30', MINIMUM SIDE YARD DIMENSION=20', MINIMUM REAR YARD DIMENSION=35' AND MAXIMUM LOT COVERAGE=20%. A PORTION OF THE LOCUS PROPERTY, ALONG THE PISCATAQUA RIVER, LOCATED IN FLOOD ZONE AE (ELEVATION 9), IS LOCATED IN THE RESOURCE PROTECTION DISTRICT. A PORTION OF THE LOCUS PROPERTY, LOCATED WITHIN 250' OF THE UPLAND EDGE OF A COASTAL WETLAND (PISCATAQUA RIVER) IS LOCATED IN THE GENERAL DEVELOPMENT DISTRICT. ALL NEW PRINCIPLE AND ACCESSORY STRUCTURES IN THE GENERAL DEVELOPMENT DISTRICT SHALL BE SETBACK AT LEAST 25' FROM THE UPLAND EDGE OF A COASTAL WETLAND. FOR COMPLETE ZONING INFORMATION REFER TO THE TOWN OF ELIOT ZONING ORDINANCE.
 10. ACCORDING TO THE ELIOT ZONING ORDINANCE "COASTAL WETLAND" IS DEFINED AS "ALL TIDAL AND SUBTIDAL LANDS; ALL LANDS WITH VEGETATION THAT IS TOLERANT OF SALT WATER AND OCCURS PRIMARILY IN A SALT WATER OR ESTUARINE HABITAT; AND ANY SWAMP, MARSH, BOG, BEACH, FLAT OR OTHER CONTIGUOUS LOW LAND WHICH IS SUBJECT TO TIDAL ACTION DURING THE HIGHEST ANNUAL TIDE IN WHICH AN ACTIVITY IS PROPOSED AS IDENTIFIED IN TIDE TABLES PUBLISHED BY THE NATIONAL OCEAN SERVICE". THE UPLAND EDGE OF THE COASTAL WETLAND ALONG THE PISCATAQUA RIVER AS DEPICTED HEREON IS BASED ON ELEVATION 5.7' (NAVD88). REFERENCE IS MADE TO A DOCUMENT PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION ENTITLED "MAINE DEP HIGHEST ANNUAL TIDE (HAT) LEVELS FOR YEAR 2018", SAID DOCUMENT LISTS ELEVATION 5.7' (NAVD88) AS THE HAT FOR PORTSMOUTH AND DOVER POINT.
 11. THE PERIMETER BOUNDARY DEPICTED HEREON IS BASED ON REFERENCE PLAN 1 AND FIELD LOCATION OF MONUMENTS DEPICTED ON REFERENCE PLAN 1. DEED RESEARCH HAS BEEN LIMITED TO THE TIME PERIOD BETWEEN 2022 AND PRESENT. CIVIL CONSULTANTS HAS NOT PERFORMED AN INDEPENDENT BOUNDARY RETRACEMENT SURVEY.

12. THE LOCUS PARCEL IS SUBJECT TO A UTILITY EASEMENT BENEFITING CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY AS SET FORTH IN Y.C.R.D. 6079/199 (SEE REFERENCE PLAN 1).
13. THE LOCUS PARCEL IS BENEFITED BY A VARIABLE WIDTH RIGHT-OF-WAY OVER LAND NOW OR FORMERLY OF ROBERT W. MAHONEY AND JANINE Y. MAHONEY (TAX MAP 10, LOT 3) AS SET FORTH IN Y.C.R.D. 14531/176 (SEE REFERENCE PLAN 1).
14. THE LOCUS PARCEL IS SUBJECT TO RIGHTS OF OTHERS FOR INGRESS AND EGRESS TO AND FROM THE CEMETERY IN THE PREMISES (SEE REFERENCE PLAN 1).
15. THE LOCUS PARCEL IS BENEFITED BY AN APPURTENANT EASEMENT, SET FORTH IN Y.C.R.D. 10404/33, DATED JANUARY 18, 2001, "TO USE ANY INTERTIDAL LAND THAT THE GRANTEE CURRENTLY USES FOR DOCKS, PIERS, FLOATS, AND MOORINGS, AND OTHER CURRENTLY EXISTING STRUCTURES IN THE INTERTIDAL LAND IN THE PISCATAQUA RIVER, INCLUDING WITH THIS APPURTENANT EASEMENT THE RIGHT TO ACCESS THESE STRUCTURES FOR THE PURPOSE OF REPAIRING, MAINTAINING AND ACCESSING AND USING THESE STRUCTURES WITH THE SAME SIZE WATERCRAFT THAT CURRENTLY ACCESSES AND USES THESE STRUCTURES. THIS EASEMENT SHALL NOT PERMIT THE GRANTEE, ITS HEIRS, SUCCESSORS AND ASSIGNS, TO INSTALL ANY ADDITIONAL STRUCTURES IN THE GRANTEE'S INTERTIDAL LAND IN THE PISCATAQUA RIVER THAT DO NOT CURRENTLY EXIST".
16. THE MEAN HIGH WATER LINE OF THE PISCATAQUA RIVER, ELEVATION 3.57' (NAVD88) AS DEPICTED HEREON IS BASED ON INTERPOLATING BETWEEN THE PUBLISHED MEAN HIGH WATER LINE VALUES FOR NOAA TIDE STATION "8419870, SEAVEY ISLAND, ME" ELEVATION 3.76' (NAVD88) AND "8423005, ATLANTIC TERMINALS 114A NH" ELEVATION 3.01' (NAVD88) (TIDAL EPOCH 1983-2001).
17. THE BOUNDARY ALONG THE PISCATAQUA RIVER DESCRIBED IN Y.C.R.D. 19017/667 (MGX II, LLC TO SHM KITTERY POINT, LLC) APPEARS TO BE LIMITED TO THE "HIGH WATER MARK". REFERENCE IS MADE IN Y.C.R.D. 19017/667 TO A DEED RECORDED IN Y.C.R.D. 18959/500 WHEREIN CIAMBRO CORPORATION RELEASES TO MGX II, LLC, "ALL RIGHT, TITLE AND INTEREST TO ANY LAND, TOGETHER WITH ANY IMPROVEMENTS THEREON, LOCATED IN THE TOWN OF ELIOT, COUNTY OF YORK, STATE OF MAINE LYING BETWEEN THE HIGH AND LOW WATER MARKS OF THE PISCATAQUA RIVER ADJOINING THE PROPERTY DESCRIBED IN THE DEED FROM CIAMBRO CORPORATION TO ALPAT CO., INC. DATED FEBRUARY 14, 1992 AND RECORDED IN BOOK 5972, PAGE 209 IN SAID REGISTRY OF DEEDS, NOW OF THE GRANTEE BY VIRTUE OF THE DEED FROM ALPAT CO., INC. TO MGX II, LLC, THE GRANTEE HEREIN, DATED OCTOBER 1, 2007 AND RECORDED IN BOOK 15270, PAGE 710 OF THE YORK COUNTY REGISTRY OF DEEDS". THE INTERTIDAL AREA DOES NOT APPEAR TO BE SPECIFICALLY INCLUDED IN THE CONVEYANCE TO SHM KITTERY POINT, LLC. CIVIL CONSULTANTS RECOMMENDS CONSULTING WITH A TITLE ATTORNEY TO CLARIFY THE FEE OWNERSHIP IN THE INTERTIDAL LANDS ASSOCIATED WITH THE PISCATAQUA RIVER.
18. THE EASTERN PORTION OF THE PROPERTY WITHIN THE 250' COASTAL SETBACK WAS THE RESULT OF A SURVEY BY CIVIL CONSULTANTS IN FEBRUARY 2023. EXISTING BUILDING ON THE PARCEL WERE VERIFIED IN LOCATION BY CIVIL CONSULTANTS. EXISTING FEATURES ON THE WESTERN PORTION OF THE PROPERTY WAS PROVIDED DIGITALLY IN AN AUTOCAD DRAWING (PLAN REFERENCE #1).

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EXISTING COVERAGE INFO

LOT AREA	267,572 SF
BUILDING A	8,456 SF
BUILDING B	2,840 SF
BUILDING C	1,395 SF
BUILDING D	7,305 SF
BUILDING E	734 SF
BUILDING F	10,561 SF
TOTAL BUILDING AREA	31,291 SF
SHED A	59 SF
SHED B	69 SF
SHED C	106 SF
TOTAL SHED AREA	234 SF
CANOPY 1	550 SF
CANOPY 2	1,492 SF
TOTAL CANOPY AREA	2,042 SF
STORAGE POD 1	166 SF
STORAGE POD 2	329 SF
TOTAL STORAGE POD AREA	495 SF
WOOD DECK C1	215 SF
WOOD DECK E1	222 SF
TOTAL WOOD DECKS AREA	437 SF
ELIOT	
EXISTING BUILDING COVERAGE	34,499/267,572 = 12.9% < 20%

LEGEND:

19017/667	DEED BOOK/PAGE NUMBER
CONC.	CONCRETE
HDPE	HIGH DENSITY POLYETHYLENE
INV.	INVERT
N/F	NOW OR FORMERLY
PVC	POLYVINYL CHLORIDE
VOC	VERTICAL GRANITE CURB
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
CB	CATCH BASIN
MAN	MANHOLE (UNKNOWN UTILITY)
PAVEMENT	PAYMENT ELEVATION
FF	FINISH FLOOR ELEVATION
+5.7	SPOT ELEVATION
0	APPROXIMATE UNDERGROUND DRAINAGE LINE
○	DEODIOUS TREE
○	SURVEY BENCHMARK
○	EXISTING IRON PIPE (AS NOTED)
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---	LOCUS PARCEL BOUNDARY LINE
---	APPROXIMATE ADJOINING PARCEL BOUNDARY LINE
---	STATE PLANE COORDINATES (FEET)
---	WIRE FENCE
---	CHAIN LINK FENCE
---	BUILDING SETBACK LINE
---	EXISTING CONTOUR
---	TREELINE
×	SPOT GRADE
---	FINISHED FLOOR ELEVATION
□	ELECTRICAL BOX/TRANSFORMER
---	OVERHEAD WIRE

1" = 50'

DATE: 05/09/2023
DRAWN BY: MPP/JAA
CHECKED BY: GRA
APPROVED BY: GRA

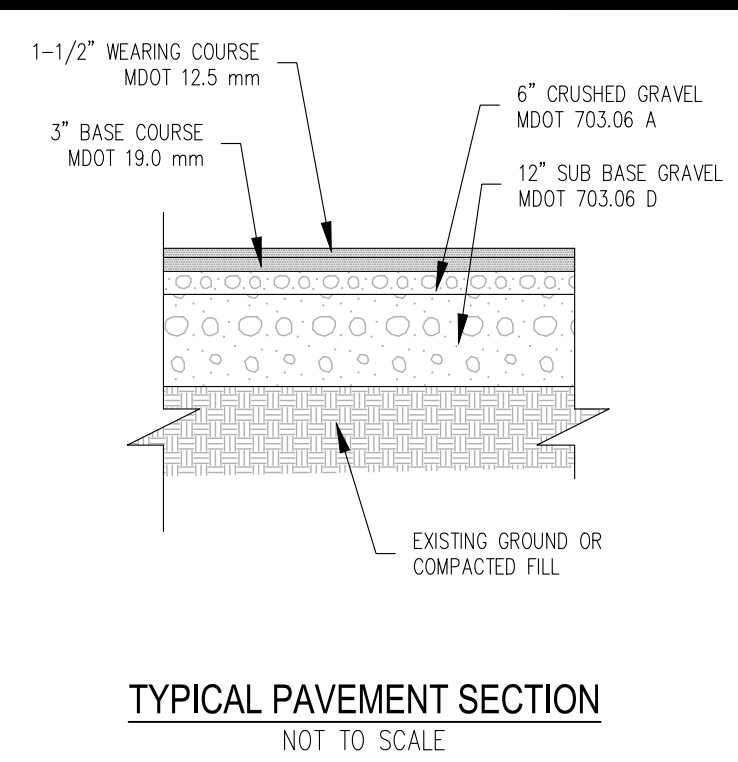
OVERALL EXISTING CONDITIONS PLAN

PROJECT NO: 2229100

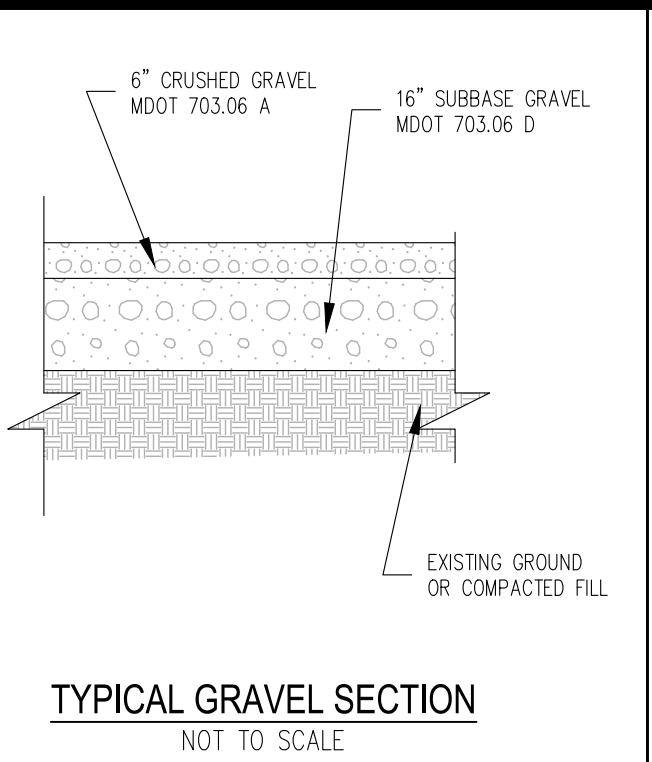
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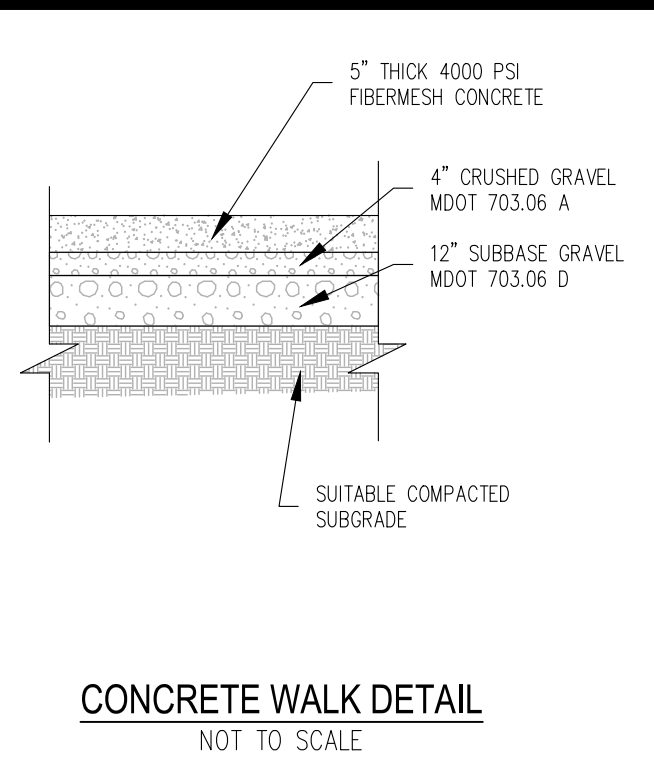
TAX MAP 10, LOT 2



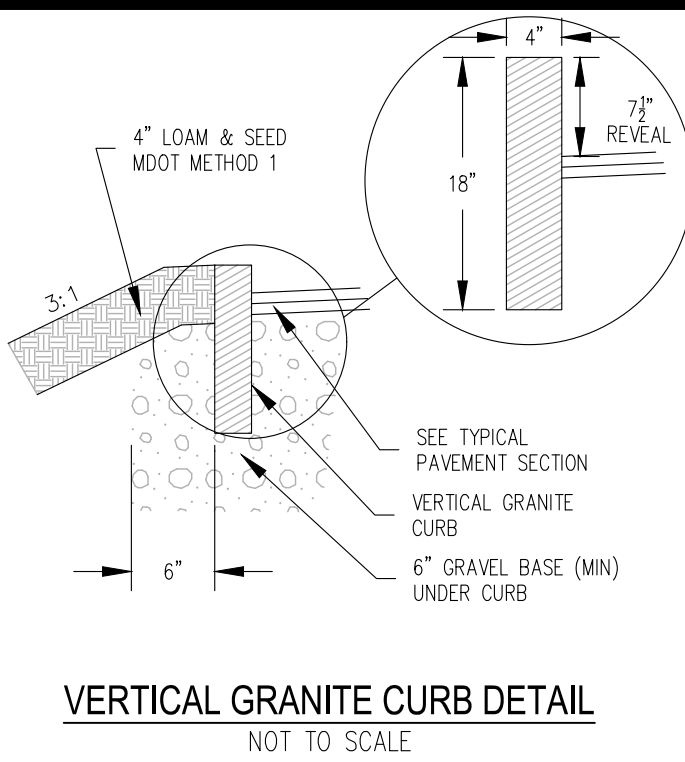
TYPICAL PAVEMENT SECTION
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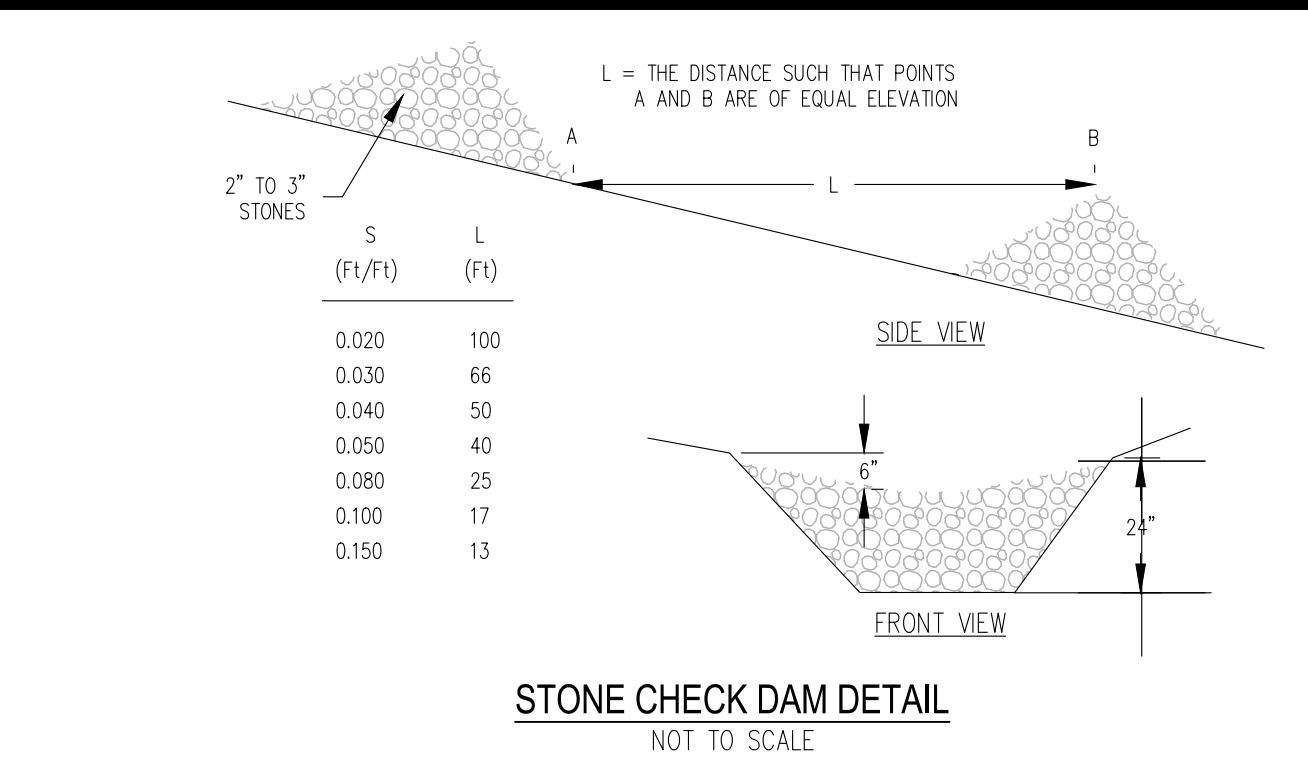
TYPICAL GRAVEL SECTION
NOT TO SCALE



CONCRETE WALK DETAIL
NOT TO SCALE



VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



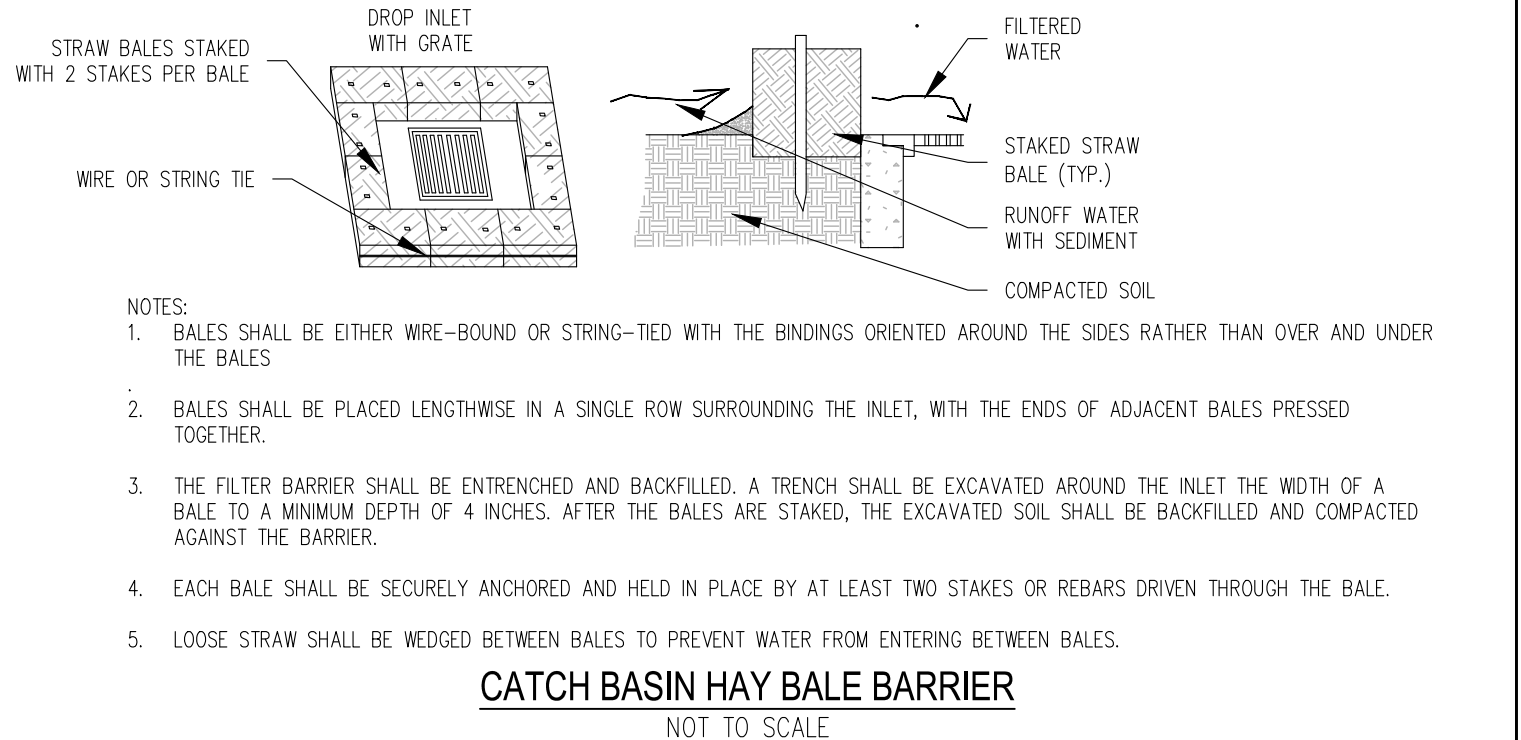
STONE CHECK DAM DETAIL
NOT TO SCALE

EROSION AND SEDIMENT CONTROL PRACTICES

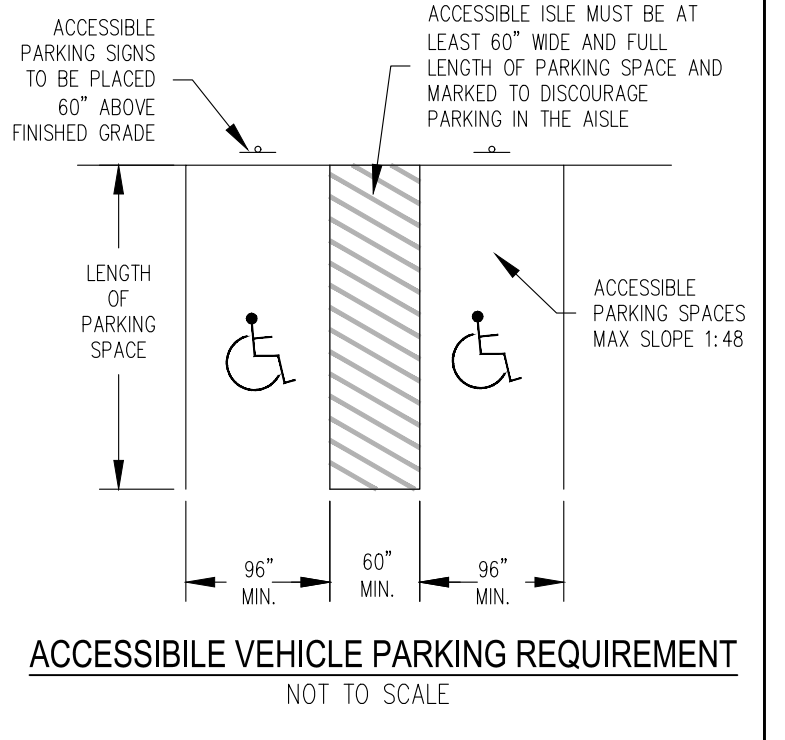
- NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
- DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
- IF MULCH IS LIKELY TO BE REMOVED DUE TO TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
- IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
- MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
- PERMANENT RE-VEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
- DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH MAINE SOLID WASTE LAW, TITLE 38 MRSA SECTION 1301 ET. SEQ.
- LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:
GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)
FERTILIZER: 10-10-10 OR EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)
FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL USED BY VEGETATIVE GROWTH.

SEEDING MIXTURE AND SCHEDULE:

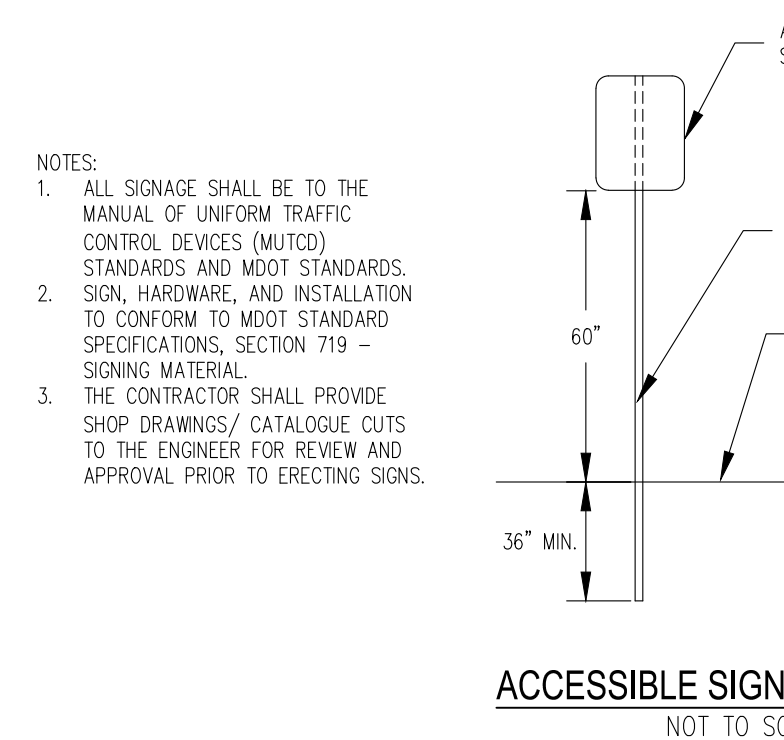
- SPREAD TOPSOIL UNIFORMLY 6" DEEP OVER AREAS TO BE RECLAIMED. THE FOLLOWING SEED MIXTURE SHALL BE USED:
- | LAWNS: | | |
|---------------------|---------------------|--|
| KENTUCKY BLUEGRASS | 1.60 LBS./1000 S.F. | |
| PERENNIAL RYE GRASS | 0.40 LBS./1000 S.F. | |
| TOTAL | 2.00 LBS./1000 S.F. | |
- APPLY LIME AND FERTILIZER AS SPECIFIED UNDER THE EROSION AND SEDIMENTATION CONTROL NOTES. WORK INTO THE TOP (4) INCHES OF SOIL PRIOR TO SEEDING. AFTER SEEDING, APPLY MULCH HAY AS SPECIFIED. ON FLAT AREAS AND NOT EXPOSING TO WIND, THE MULCH WILL BE ANCHORED BY NETTING DOWN. IN OTHER AREAS, JUTE NETTING SHALL BE USED FOR ANCHORAGE. THE ABOVE SEEDING SCHEDULE IS APPLICABLE IF SEEDING DURING THE GROWING SEASON (APRIL 15 TO JUNE 15 AND AUGUST 30 TO SEPTEMBER 30). BETWEEN JUNE 15 AND AUGUST 30, SEEDING WILL BE DELAYED UNTIL AUGUST 30. IF SOIL IS DISTURBED BETWEEN OCTOBER 1 AND NOVEMBER 1, DELAY SEEDING UNTIL NOVEMBER 1. AFTER NOVEMBER 1 AND BEFORE A SNOW COVER FORMS, THE SAME PROCEDURE WILL BE FOLLOWED EXCEPT THE SEED RATE WILL BE DOUBLED. AFTER SNOW COVER AND BEFORE APRIL 15, SEEDING WILL BE DELAYED UNTIL APRIL 15. HAY MULCH WILL BE APPLIED AT A RATE OF 150 LBS./1000 SQUARE FEET. THIS WILL BE ANCHORED BY NON-ASPHALTIC TACKIFIER SPRAYED ON LAWNS AND JUTE NETTING IN DRAINAGE WAYS AND OTHER AREAS.



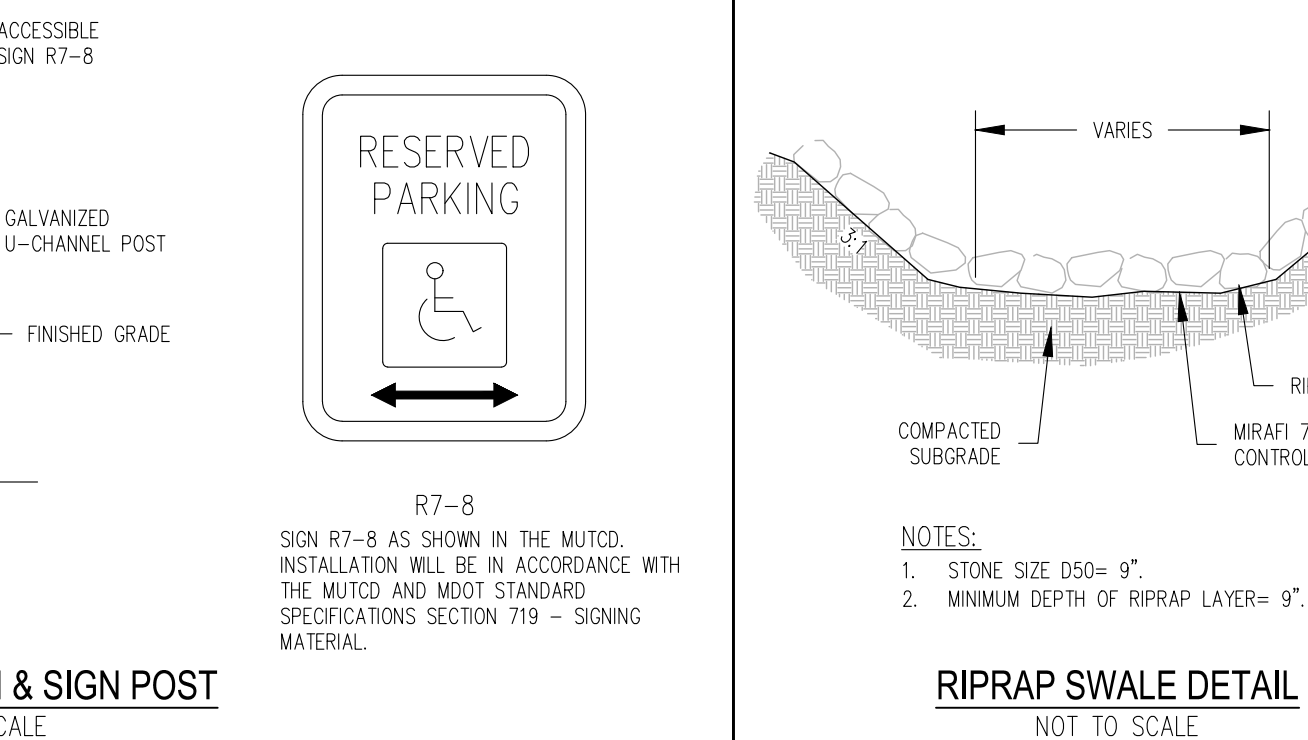
CATCH BASIN HAY BALE BARRIER
NOT TO SCALE



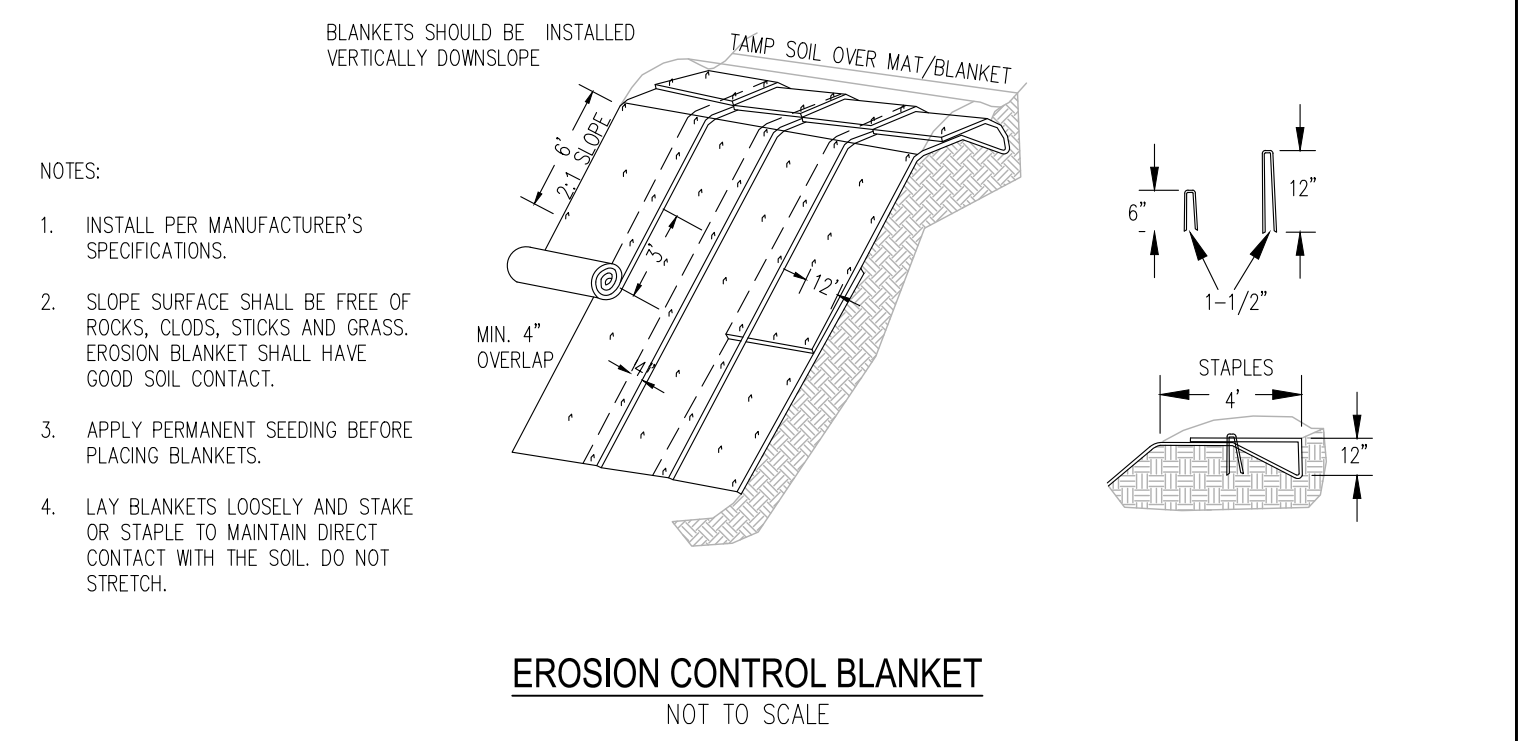
ACCESSIBLE VEHICLE PARKING REQUIREMENT
NOT TO SCALE



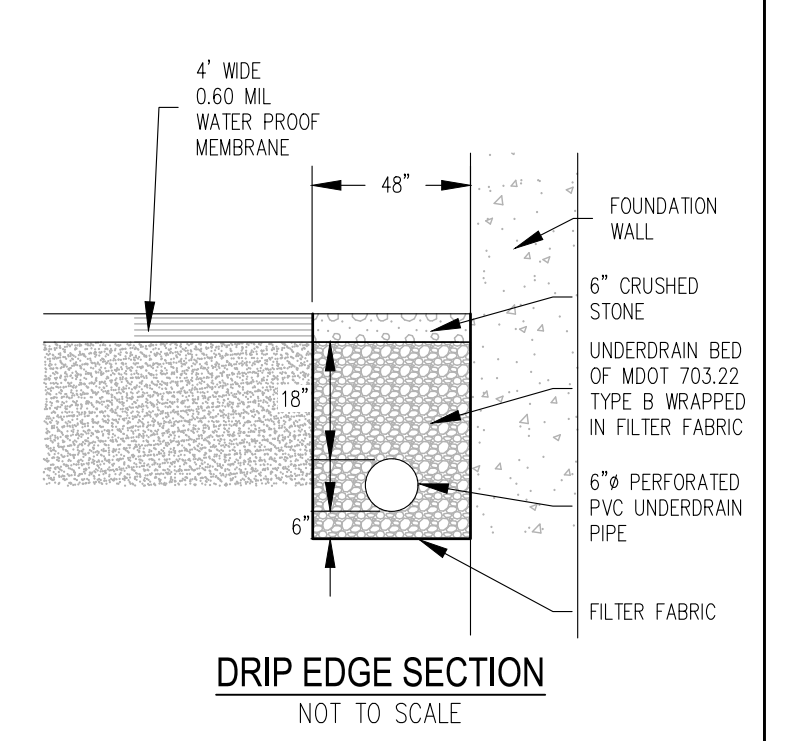
ACCESSIBLE SIGN & SIGN POST
NOT TO SCALE



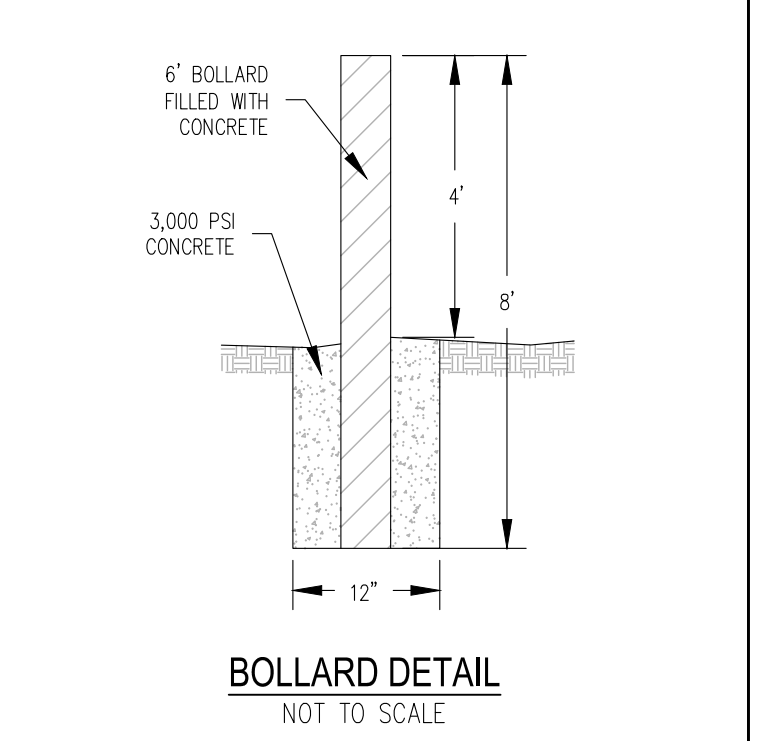
RIPRAP SWALE DETAIL
NOT TO SCALE



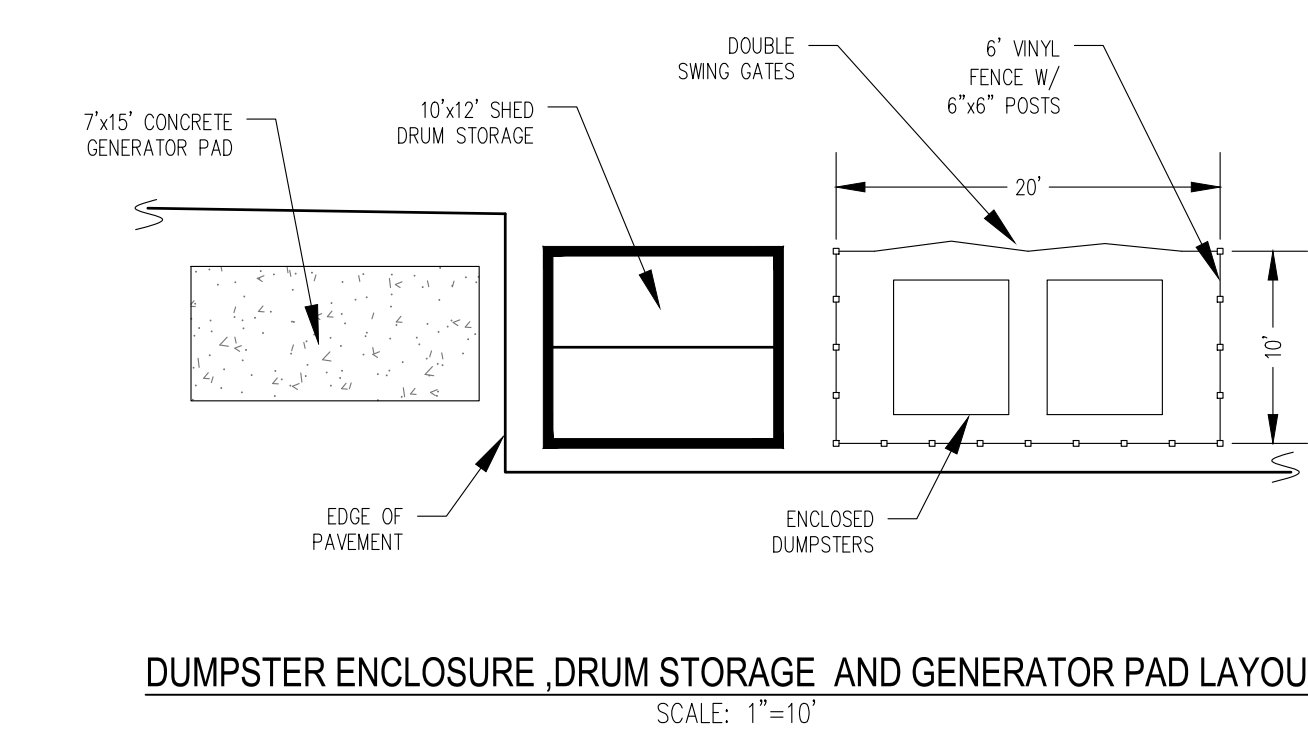
EROSION CONTROL BLANKET
NOT TO SCALE



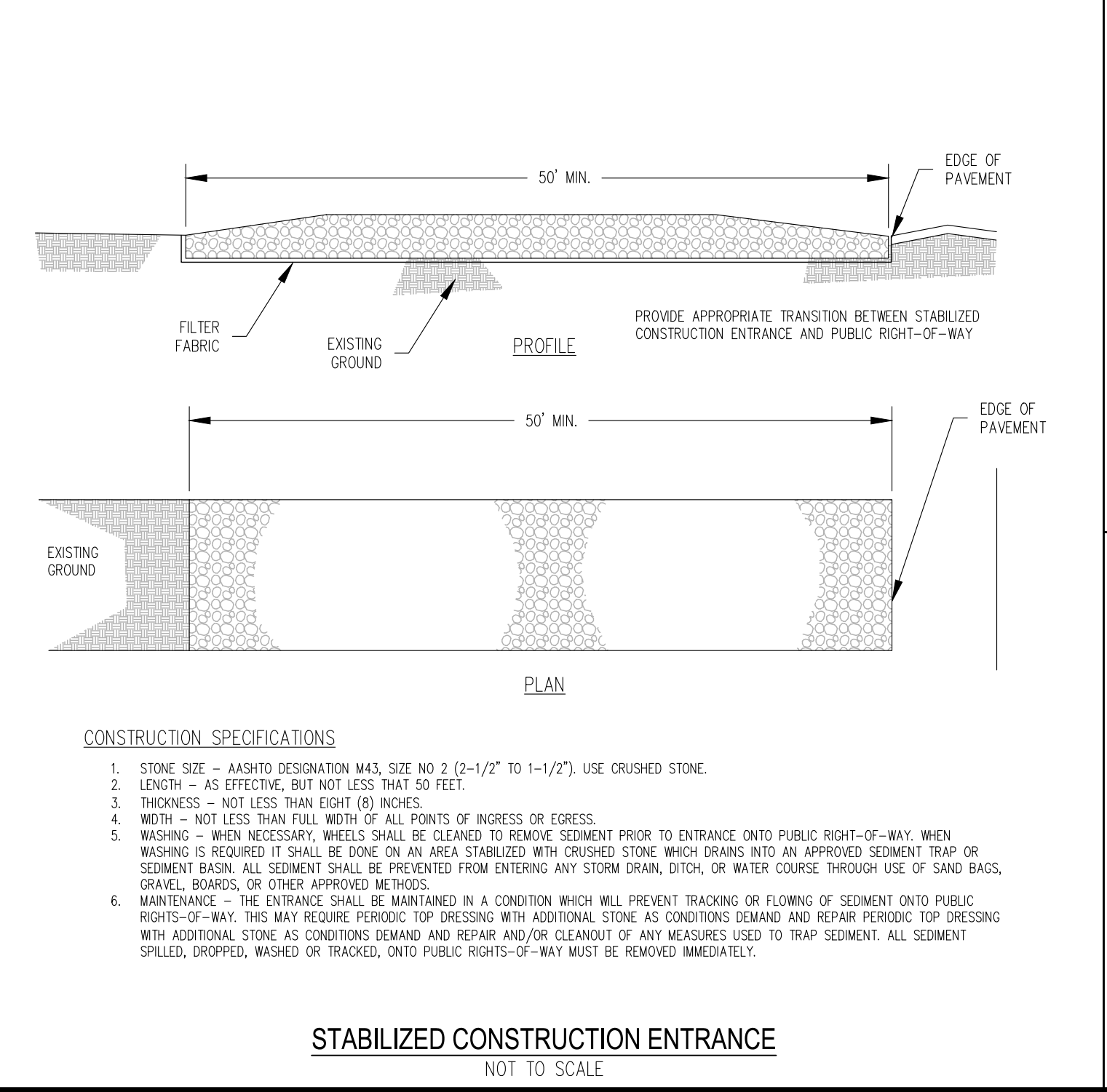
DRIP EDGE SECTION
NOT TO SCALE



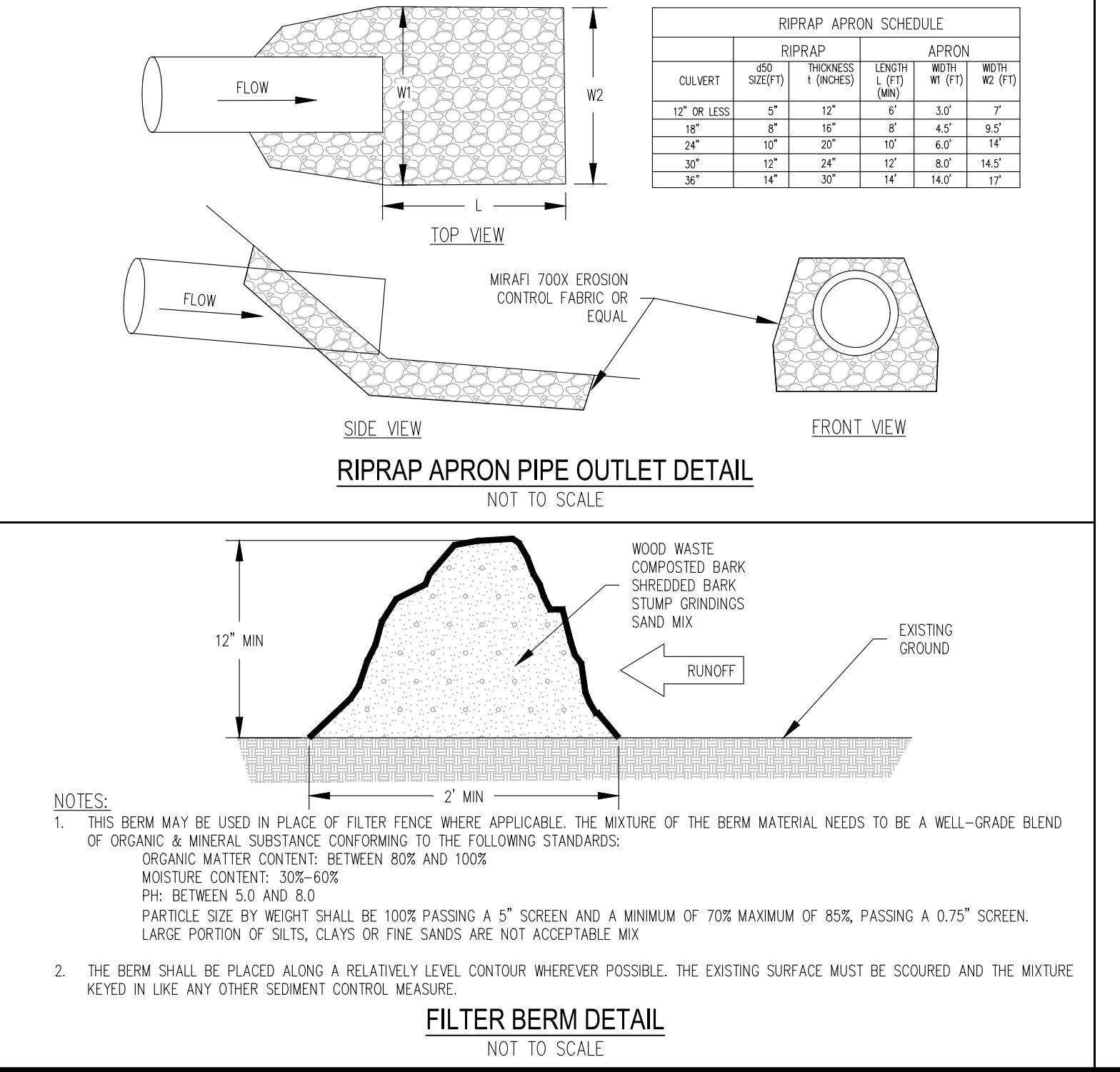
BOLLARD DETAIL
NOT TO SCALE



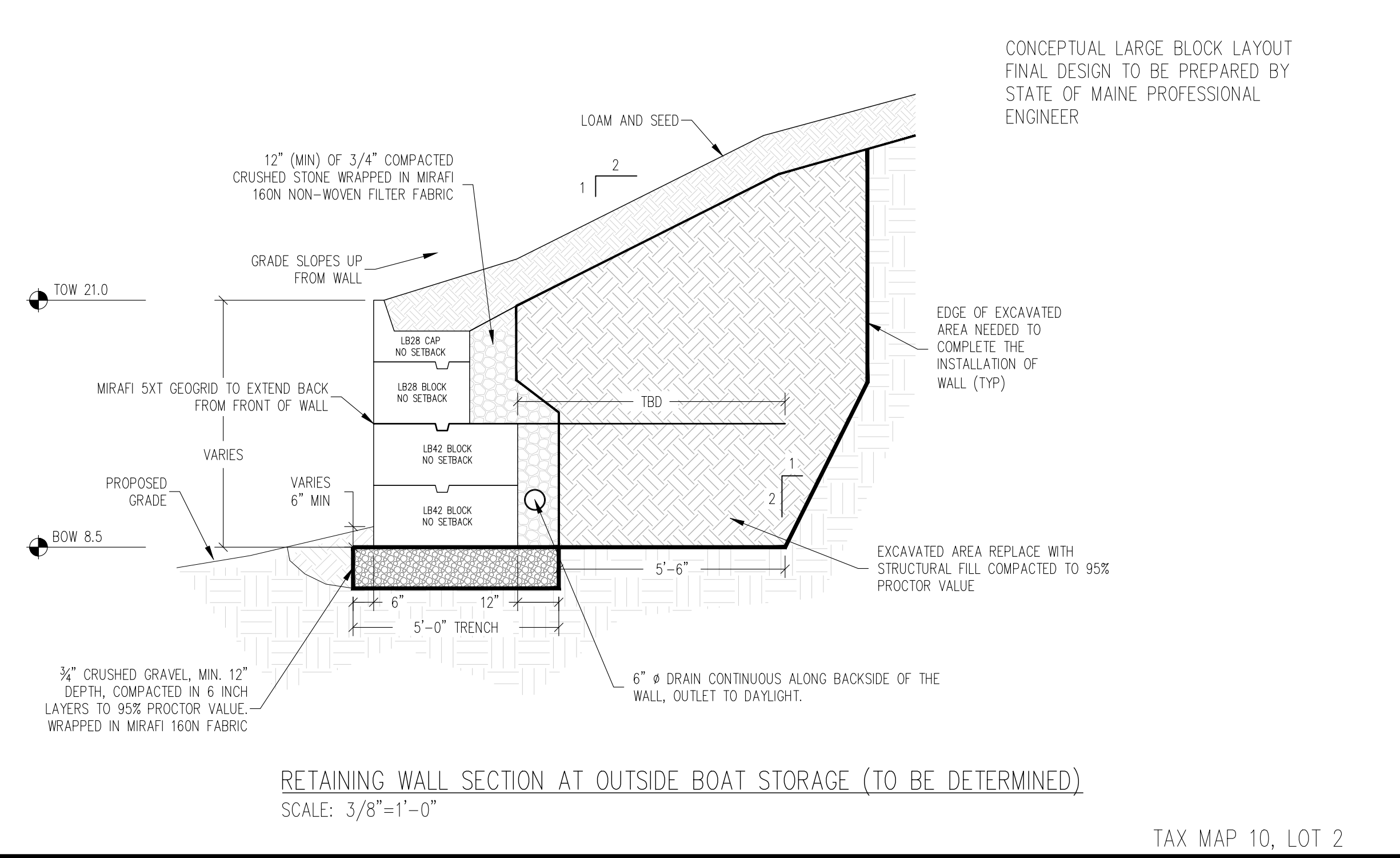
DUMPSTER ENCLOSURE, DRUM STORAGE AND GENERATOR PAD LAYOUT
SCALE: 1"=10'



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



FILTER BERM DETAIL
NOT TO SCALE



RETAINING WALL SECTION AT OUTSIDE BOAT STORAGE (TO BE DETERMINED)
SCALE: 3/8"=1'-0"



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NO.	REVISIONS	INT.	DATE

RECORD OWNER: SHW KITTERY POINT, LLC
ADDRESS: C/O SHEP HARBOR MARINAS
14765 PRESTON ROAD
SUITE 975
DALLAS, TX 75254

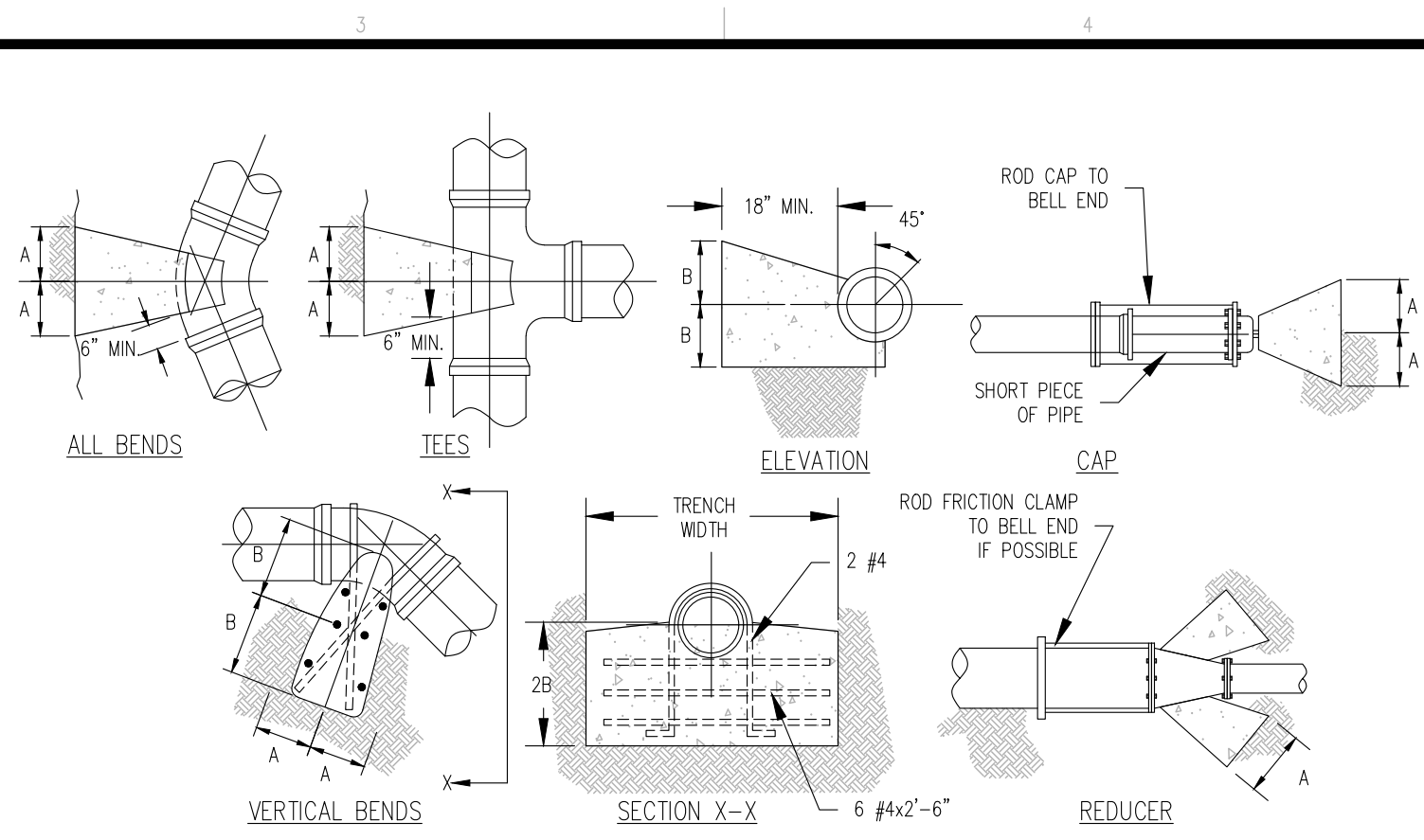
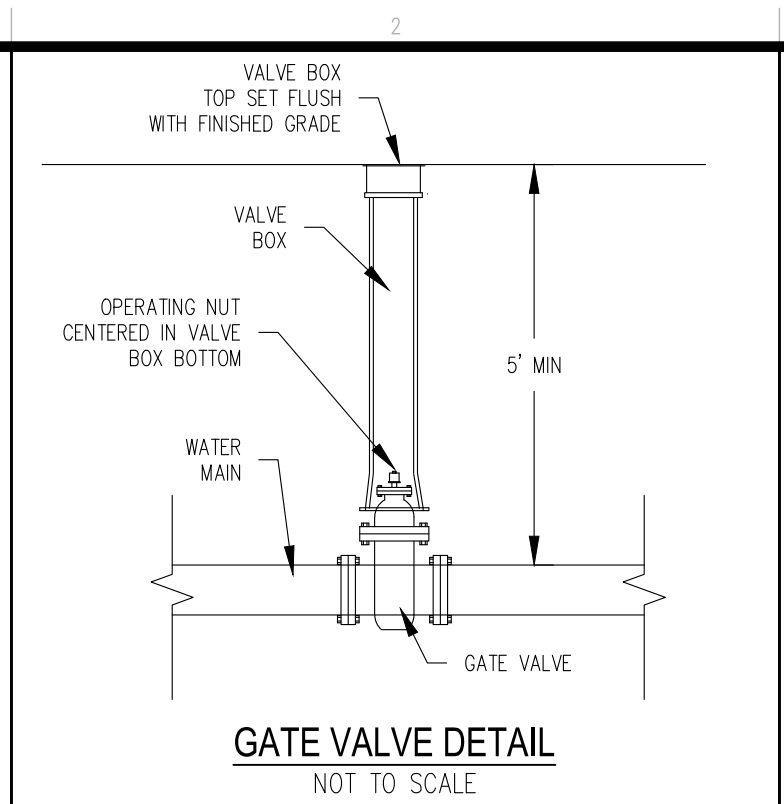
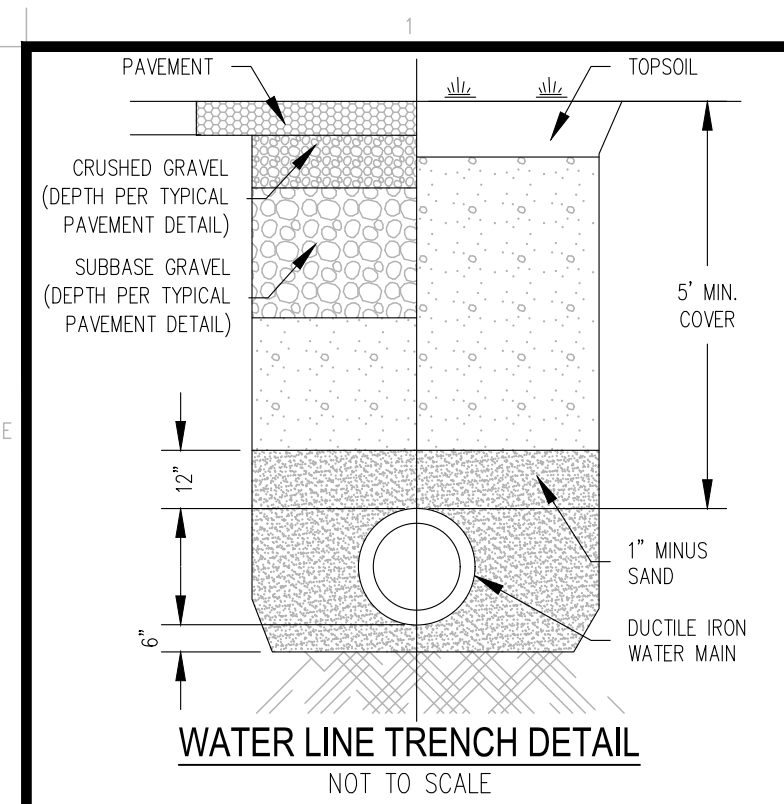
PROPOSED BUILDING ADDITION
LAND OF SHM KITTERY POINT, LLC
857 MAIN STREET - TAX MAP 10, LOT 2
ELIOT, YORK COUNTY, MAINE
PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
CLIENT ADDRESS: P.O. BOX 450, 4 SHAPLEIGH ROAD, KITTERY, ME 03904

DATE: 05/09/2023
DRAWN BY: JAA
CHECKED BY: GRA
APPROVED BY: GRA

CONSTRUCTION DETAILS

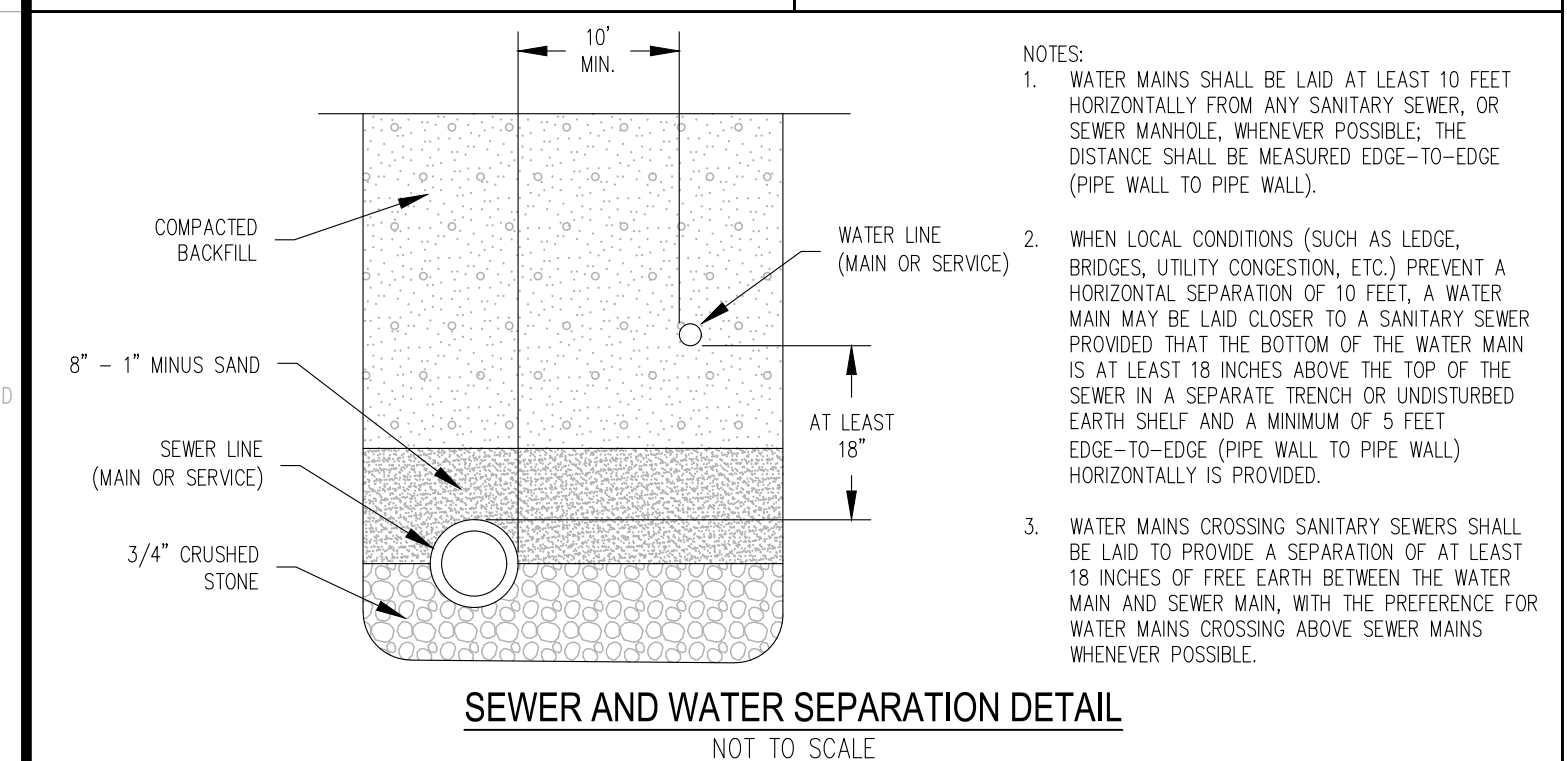
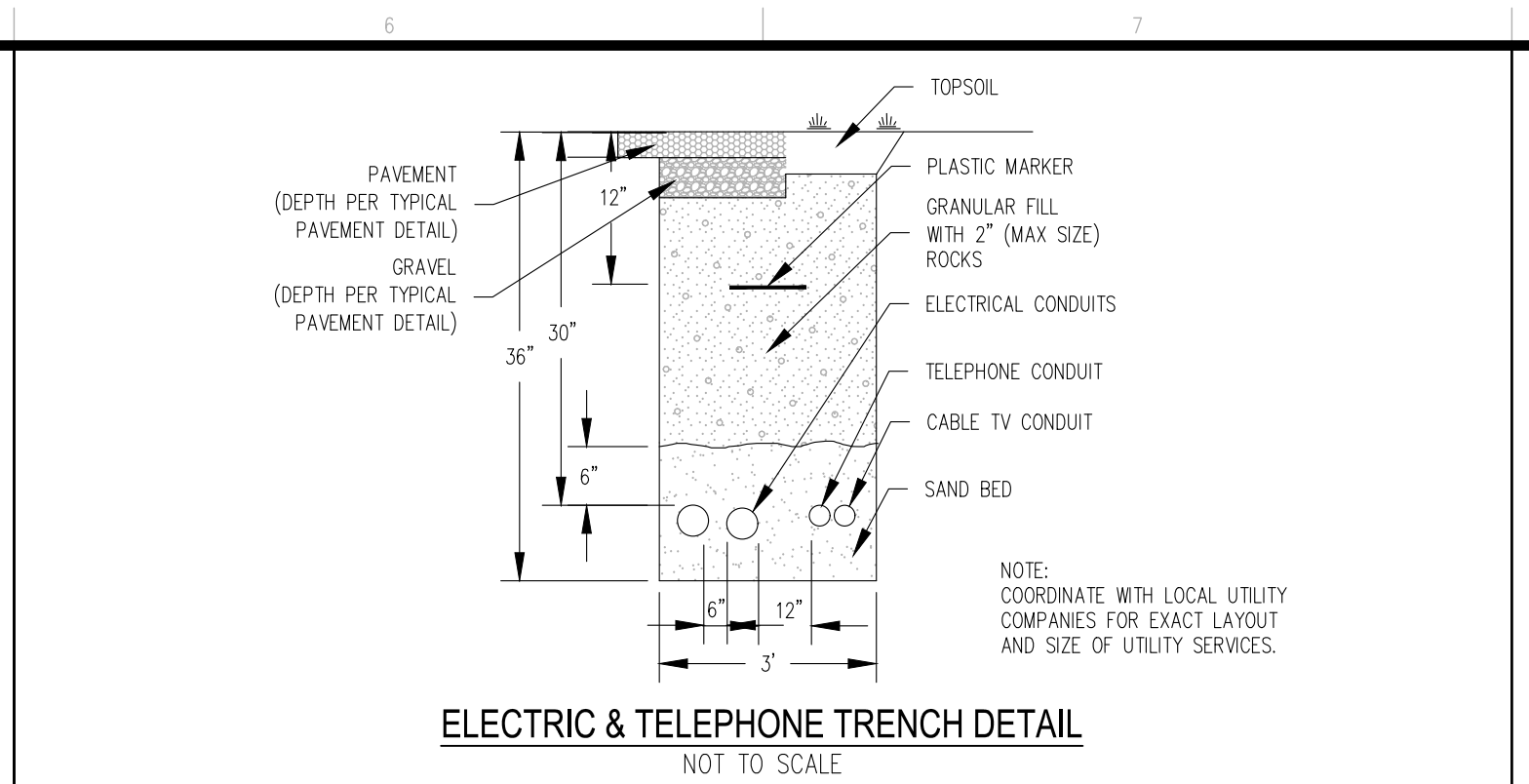
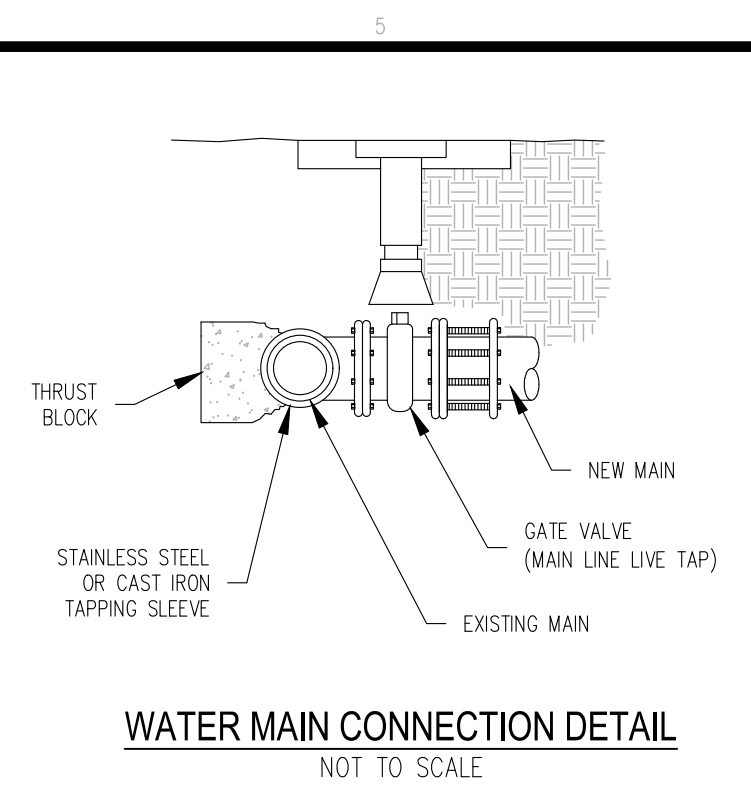
PROJECT NO: 2229100

L4
SHEET: 4 OF 6

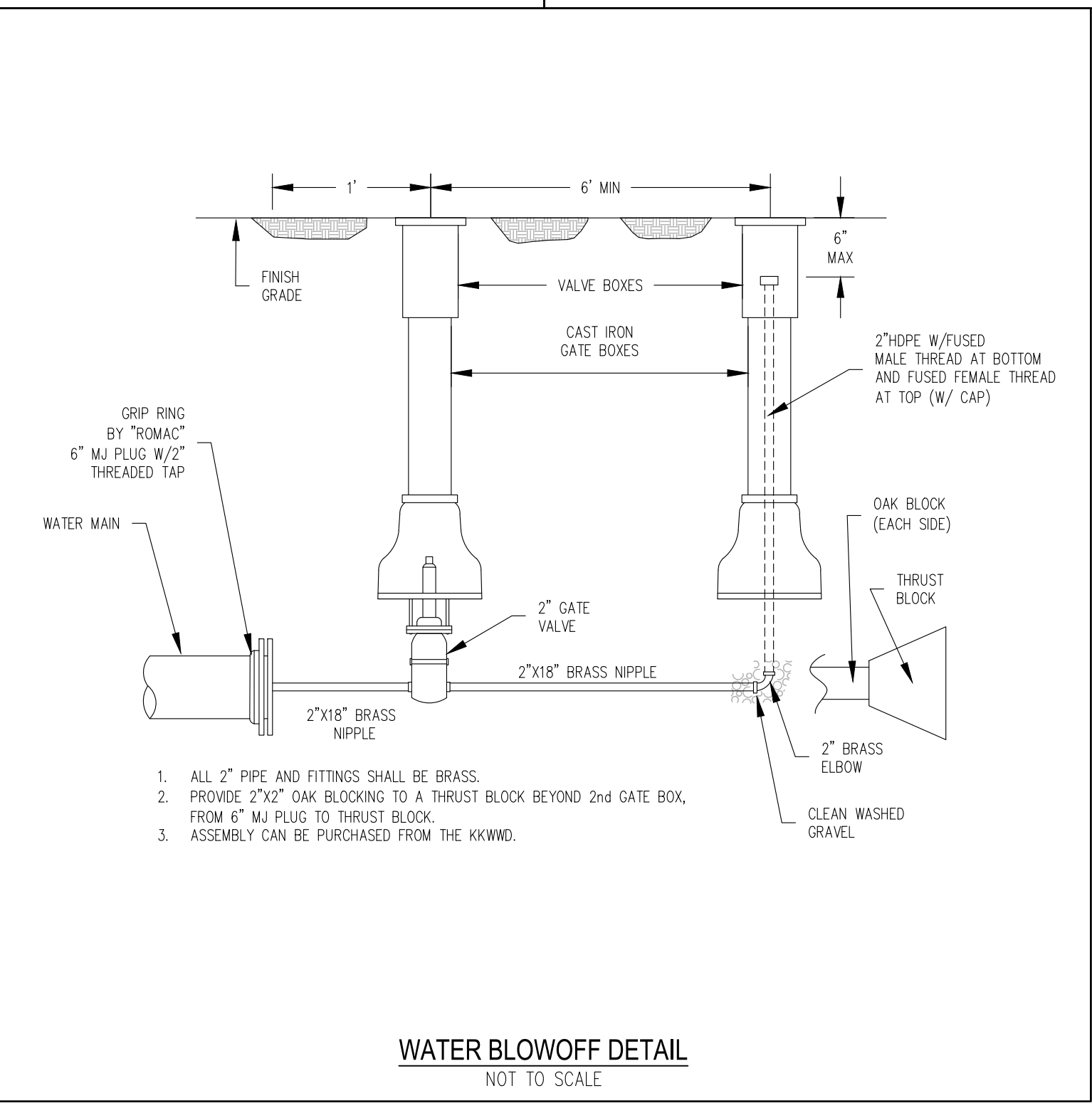


PIPE SIZE	90° BEND		45° BEND		22-1/2° BEND		11-1/4° BEND		TEE		VERTICAL BEND (DOWN)		PLUG		REDUCER	
	A	B	A	B	A	B	A	B	A	B	A	B	A	B	A	B
4"	15"	12"	12"	9"	9"	6"	6"	6"	12"	12"	12"	12"	12"	12"	12"	12"
6"	15"	12"	12"	9"	9"	6"	6"	6"	12"	12"	12"	12"	12"	12"	12"	12"
8"	20"	15"	14"	12"	9"	9"	9"	6"	18"	12"	18"	14"	14"	18"	18"	12"
10"	21"	21"	18"	15"	15"	9"	9"	9"	20"	18"	20"	16"	16"	20"	18"	18"
12"	27"	24"	23"	15"	15"	12"	12"	9"	25"	18"	25"	18"	18"	25"	18"	18"
16"	37"	30"	30"	21"	21"	15"	13"	12"	32"	24"	32"	24"	22"	32"	24"	24"

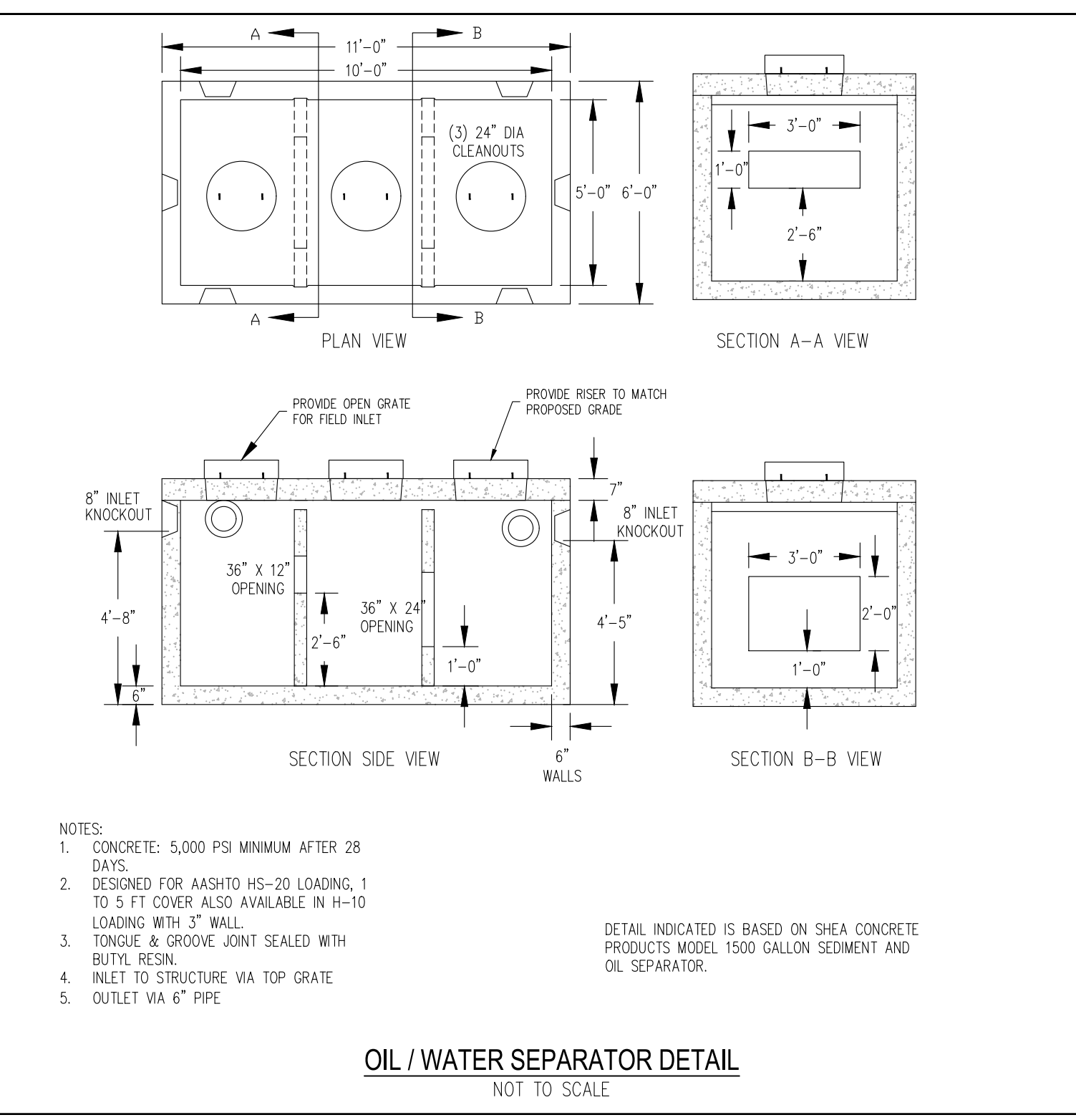
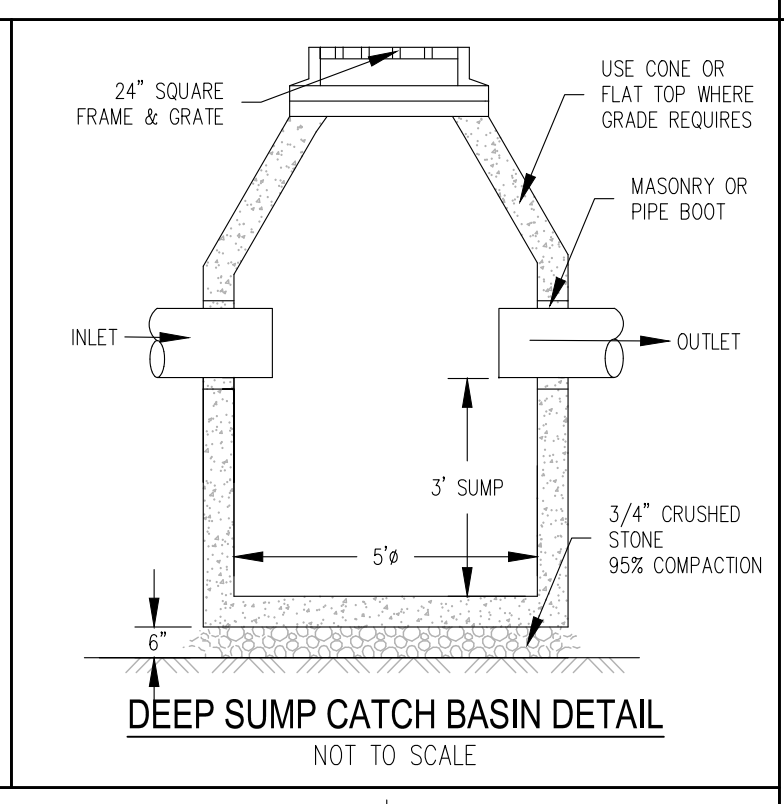
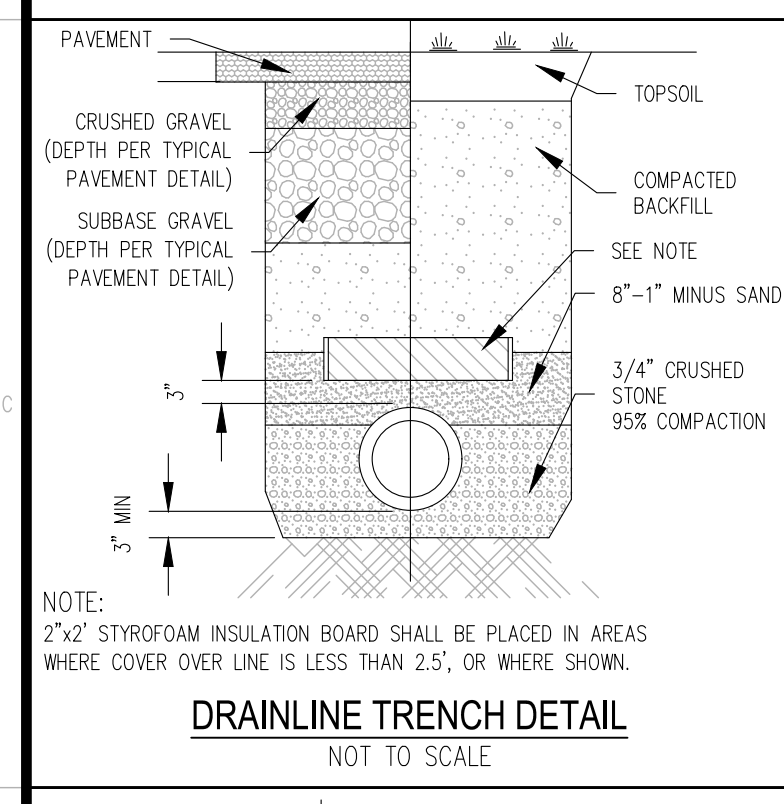
- NOTES:
- THRUST BLOCK SIZES SHOWN ARE BASED ON A SOIL BEARING CAPACITY OF 2000 PSF AND TEST PRESSURES OF 180 PSI.
 - ALL BENDS, TEES, WYES, HYDRANTS AND DEAD ENDS SHALL BE BRACED WITH CONCRETE THRUST BLOCKS.
 - RODDING MAY BE REQUIRED.



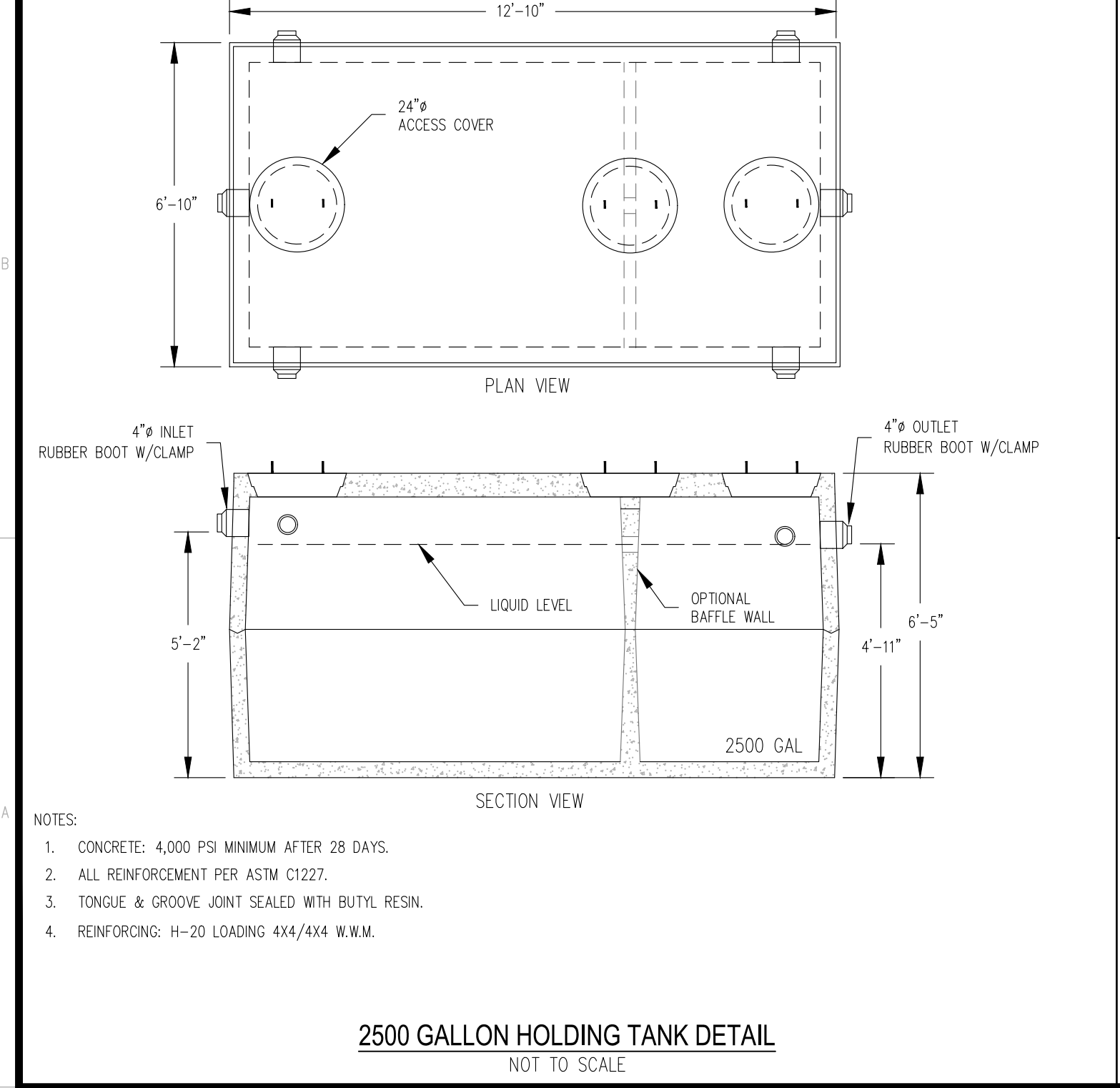
- NOTES:
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY SANITARY SEWER, OR SEWER MANHOLE, WHENEVER POSSIBLE, THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE (PIPE WALL TO PIPE WALL).
 - WHEN LOCAL CONDITIONS (SUCH AS LEDGE, BRIDGES, UTILITY CONGESTION, ETC.) PREVENT A HORIZONTAL SEPARATION OF 10 FEET, A WATER MAIN MAY BE LAID CLOSER TO A SANITARY SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER IN A SEPARATE TRENCH OR UNDISTURBED EARTH SHELVE AND A MINIMUM OF 5 FEET EDGE-TO-EDGE (PIPE WALL TO PIPE WALL) HORIZONTALLY IS PROVIDED.
 - WATER MAINS CROSSING SANITARY SEWERS SHALL BE LAID TO PROVIDE A SEPARATION OF AT LEAST 18 INCHES OF FREE EARTH BETWEEN THE WATER MAIN AND SEWER MAIN, WITH THE PREFERENCE FOR WATER MAINS CROSSING ABOVE SEWER MAINS WHENEVER POSSIBLE.



- NOTES:
- ALL 2" PIPE AND FITTINGS SHALL BE BRASS.
 - PROVIDE 2"x2" OAK BLOCKING TO A THRUST BLOCK BEYOND 2nd GATE BOX, FROM 6" M.J. PLUG TO THRUST BLOCK.
 - ASSEMBLY CAN BE PURCHASED FROM THE KKWWD.



- NOTES:
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 - DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER ALSO AVAILABLE IN H-10 LOADING WITH 3" WALL.
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 - INLET TO STRUCTURE VIA TOP GRATE
 - OUTLET VIA 6" PIPE
- DETAIL INDICATED IS BASED ON SHEA CONCRETE PRODUCTS MODEL 1500 GALLON SEDIMENT AND OIL SEPARATOR.



- NOTES:
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - ALL REINFORCEMENT PER ASTM C1227.
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 - REINFORCING: H-20 LOADING 4X4/4X4 W.W.M.



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NO.	REVISIONS	DATE

RECORD OWNER:
 SHM KITTERY POINT, LLC
 ADDRESS:
 C/O SHEA HARBOR MARINAS
 4785 PRESTON ROAD
 SUITE 875
 DALLAS, TX 75254

PROPOSED BUILDING ADDITION
LAND OF SHM KITTERY POINT, LLC
857 MAIN STREET - TAX MAP 10, LOT 2
ELIOT, YORK COUNTY, MAINE
 PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
 CLIENT ADDRESS: P.O. BOX 450, 4 SHAPELEIGH ROAD, KITTERY, ME 03904

UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT ONSAFE (1-888-344-7233) FOR LOCATION OF ALL EXISTING UTILITIES.



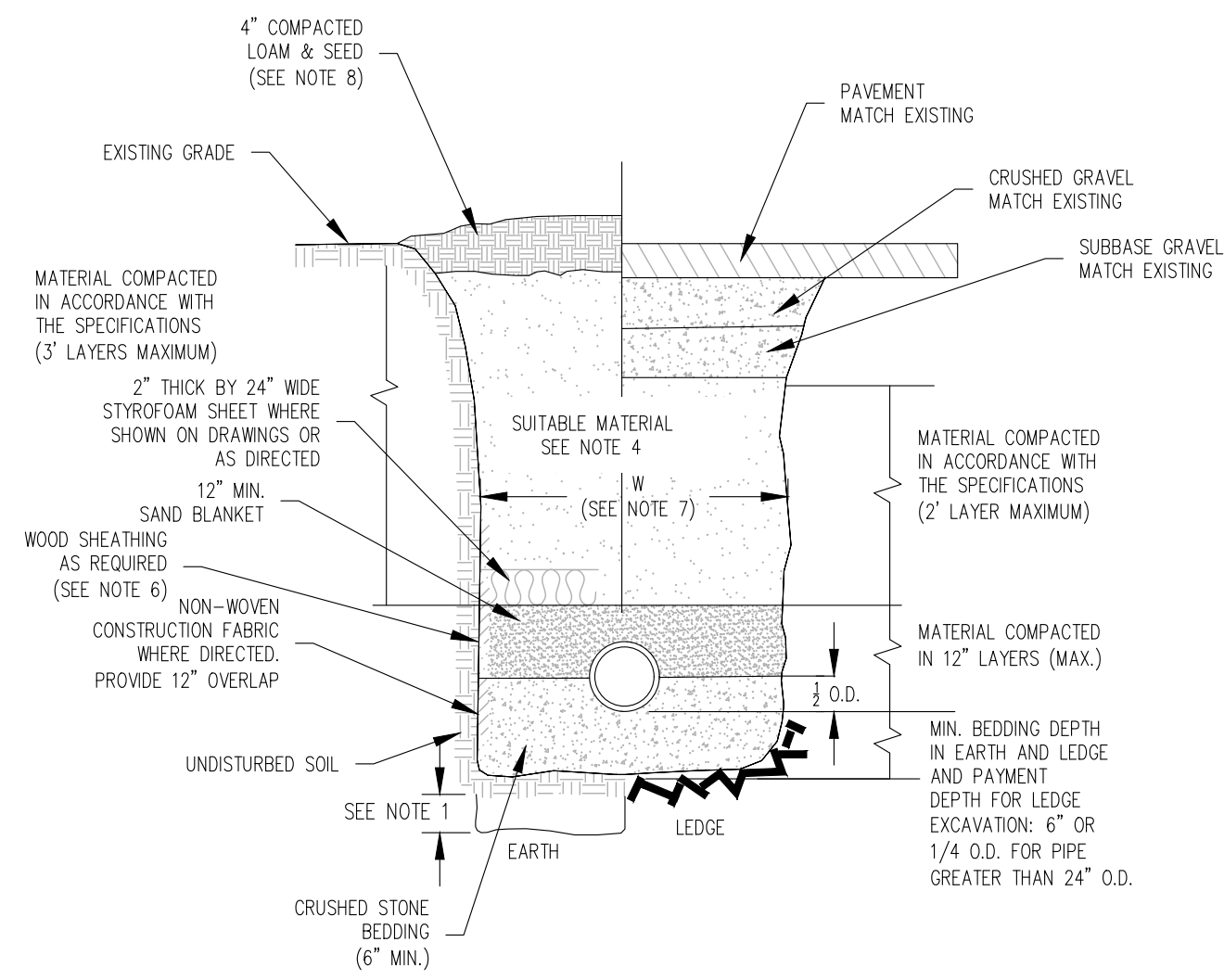
DATE: 05/09/2023
 DRAWN BY: JAA
 CHECKED BY: GRA
 APPROVED BY: GRA

CONSTRUCTION
 DETAILS

PROJECT NO: 2229100

L5

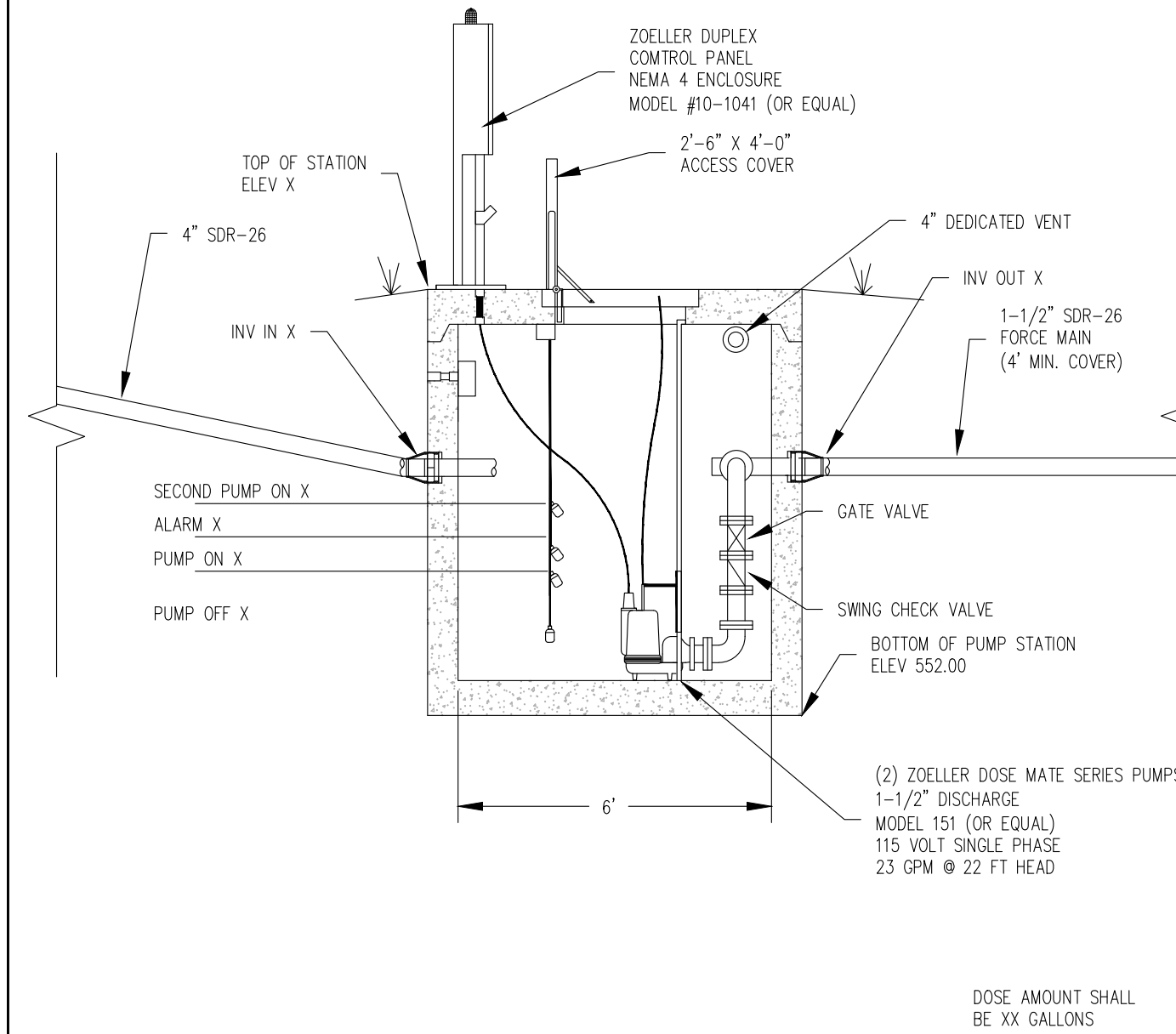
SHEET: 5 OF 6



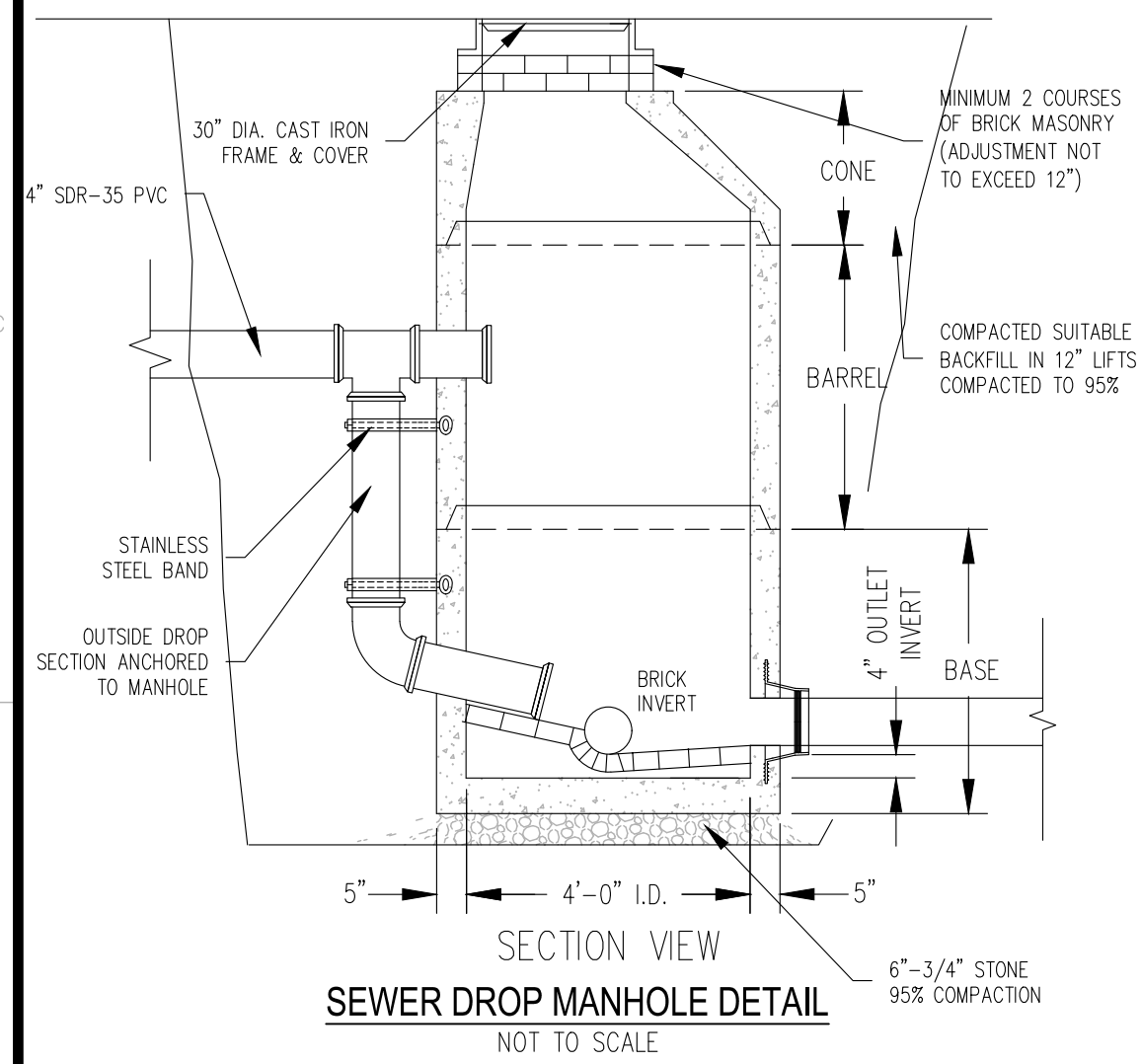
SEWER LINE TRENCH DETAIL
NOT TO SCALE

NOTES:

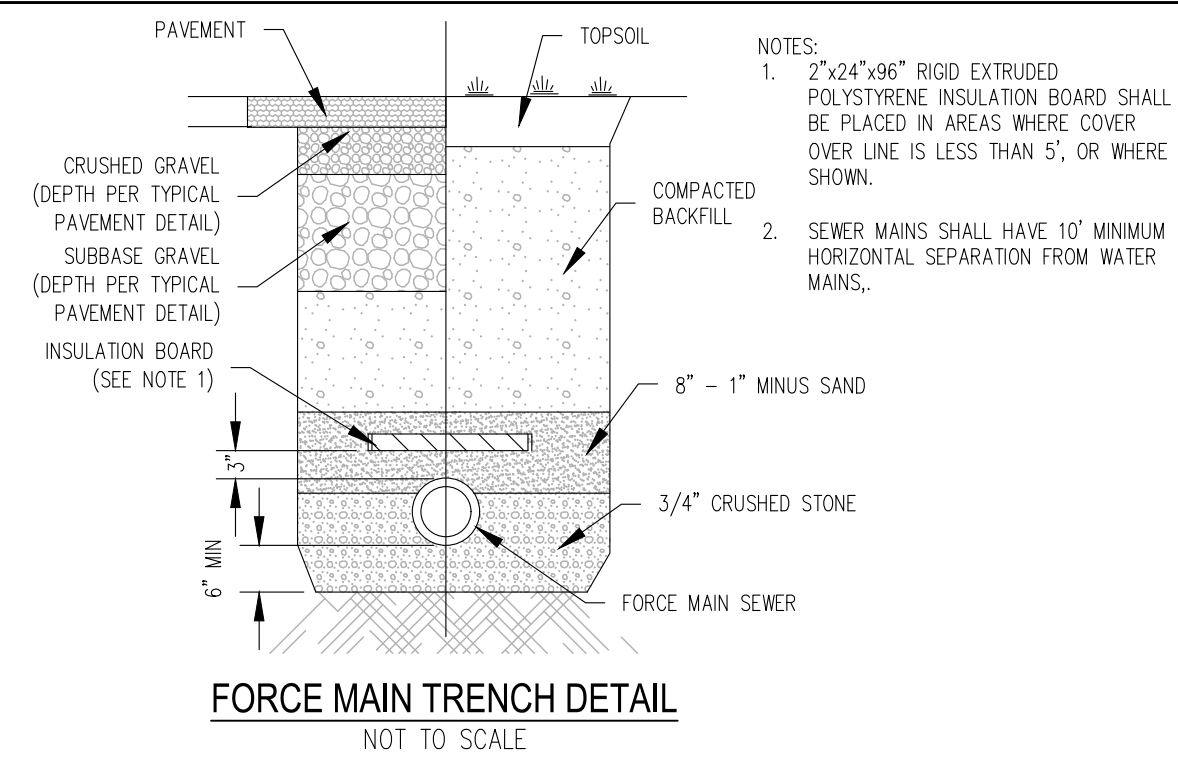
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE:**
BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWINGS.
- BEDDINGS:**
SEE NOTE 7 OF STANDARD MANHOLE NOTES. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.
- SAND BLANKET:**
CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL:**
IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS. SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCK OVER 6" IN LARGEST DIMENSION; AND ANY MATERIAL WHICH IS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER, FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT:**
SHALL MEET THE REQUIREMENT OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- WOOD SHEETING IF REQUIRED:**
WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION FOOT ABOVE THE TOP OF THE PIPE, WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH:**
FOR ROCK EXCAVATION, FOR ORDERED EXCAVATION BELOW GRADE AND HANDLING OF EXCAVATED CONTAMINATED SOILS. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.).
- FOR CROSS COUNTRY CONSTRUCTION:**
BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- COORDINATE INSTALLATION WITH SEWER DISTRICT.**



PUMP CHAMBER DETAIL (TO BE DETERMINED)
NOT TO SCALE



SEWER DROP MANHOLE DETAIL
NOT TO SCALE



FORCE MAIN TRENCH DETAIL
NOT TO SCALE

- NOTES:**
- 2"x24"x96" RIGID EXTRUDED POLYSTYRENE INSULATION BOARD SHALL BE PLACED IN AREAS WHERE COVER OVER LINE IS LESS THAN 5', OR WHERE SHOWN.
 - SEWER MAINS SHALL HAVE 10' MINIMUM HORIZONTAL SEPARATION FROM WATER MAINS.



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NO.	REVISIONS	INT.	DATE

RECORD OWNER:
SHM KITTERY POINT, LLC
ADDRESS:
C/O SHEP HARBOR MARINAS
1475 PRESTON ROAD
SUITE 875
DALLAS, TX 75254

PROPOSED BUILDING ADDITION
LAND OF SHM KITTERY POINT, LLC
857 MAIN STREET - TAX MAP 10, LOT 2
ELIOT, YORK COUNTY, MAINE
PREPARED FOR: H.L. PATTEN CONSTRUCTION, INC.
CLIENT ADDRESS: P.O. BOX 450, 4 SHAPELEIGH ROAD, KITTERY, ME 03904

1" = 30'
DATE: 05/09/2023
DRAWN BY: JAA
CHECKED BY: GRA
APPROVED BY: GRA

CONSTRUCTION DETAILS

PROJECT NO: 2229100

L6

SHEET: 6 OF 6

OWNER:



SHM Kittery Point, LLC

DESIGN-BUILDER:

HL Patten
CONSTRUCTION
4 Shapleigh Rd.
Kittery, ME
207.439.2008

ARCHITECT:

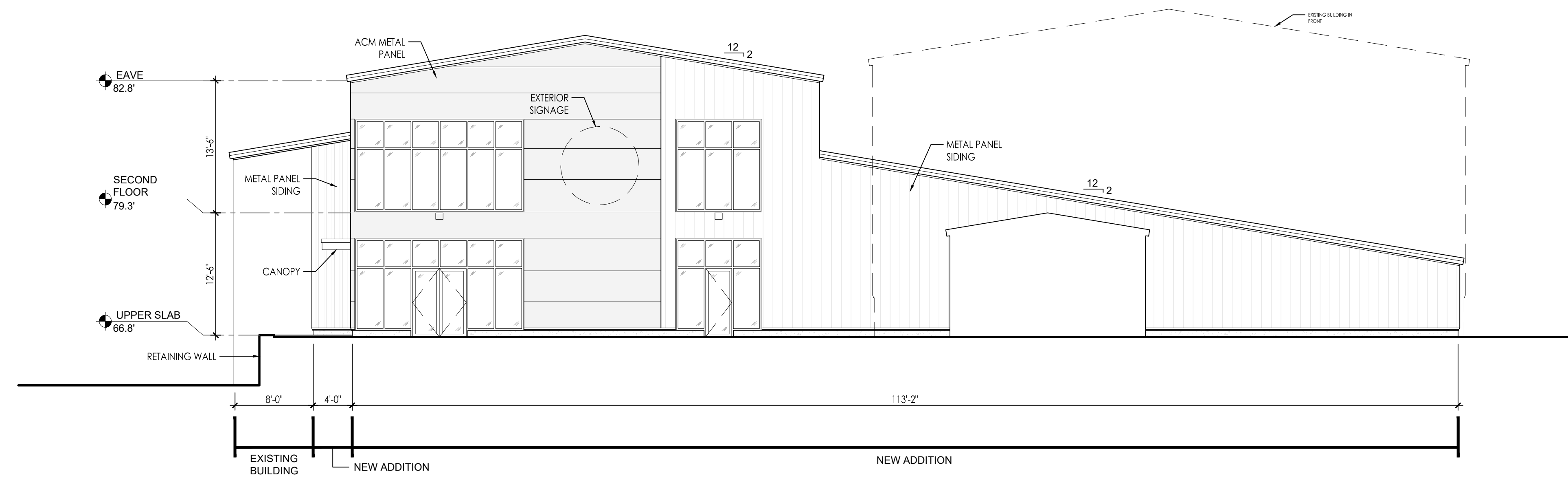
PORT ONE
ARCHITECTS

959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL / STRUCTURAL ENGINEER:

CIVIL CONSULTANTS
293 Main Street
South Berwick, ME 03908
207.384.2550

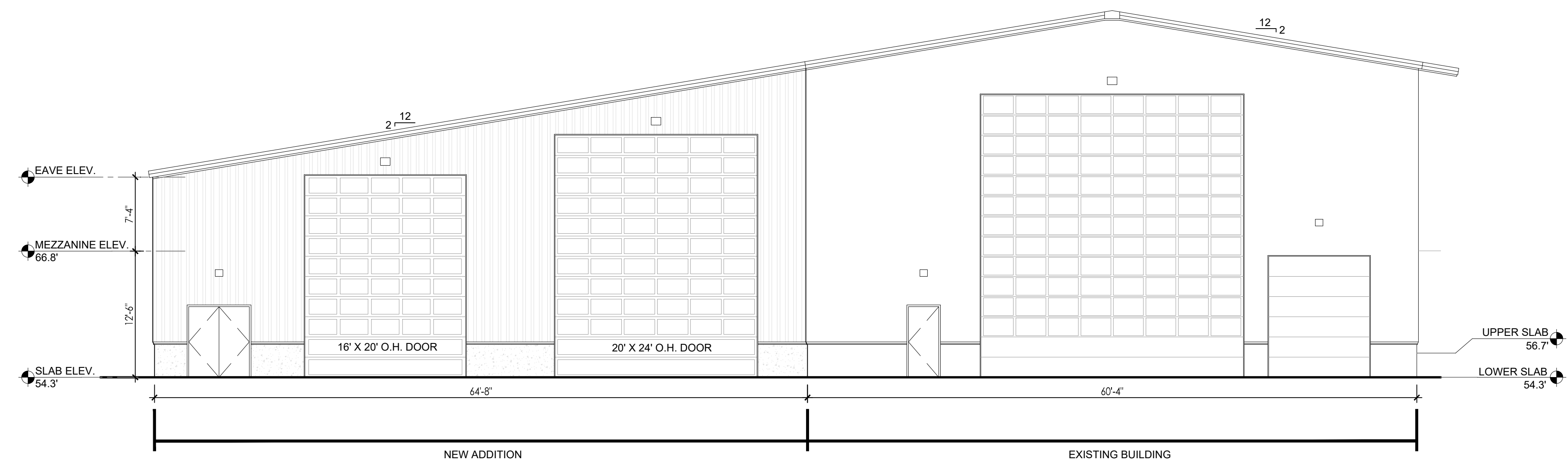
MEPPF ENGINEER:



2 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

Revision History		
#	Date	Issuance

SEAL



1 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

CONCEPTUAL DESIGN

USE DISCLAIMER:
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LOCUS MAP

PROJECT NAME:

SAFE HARBOR
MARINAS - ELIOT
ELIOT, ME

DRAWING TITLE:

EXTERIOR
ELEVATION

PROJECT No: 22-035

DATE: MAR. 31, 2023

DRAWING SCALE: As indicated

DRAWING No:

A2.1

OWNER:



SHM Kittery Point, LLC

DESIGN-BUILDER:

HL Patten
CONSTRUCTION
4 Shapleigh Rd.
Kittery, ME
207.439.2008

ARCHITECT:

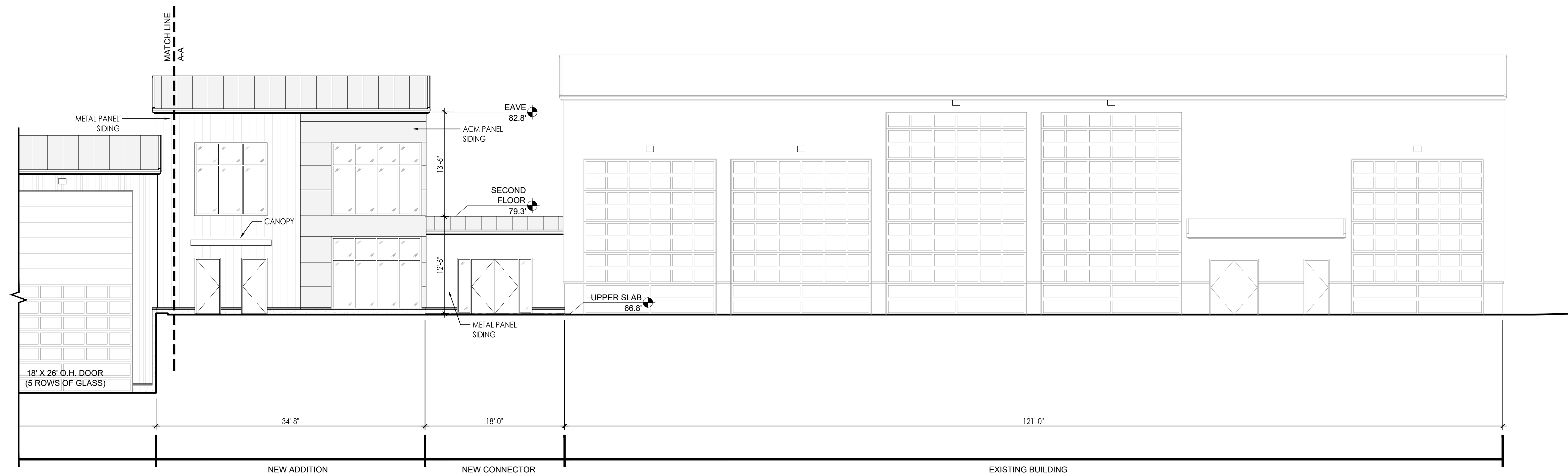
PORT ONE
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CIVIL / STRUCTURAL ENGINEER:

CIVIL CONSULTANTS
293 Main Street
South Berwick, ME 03908
207.384.2550

MEFPF ENGINEER:



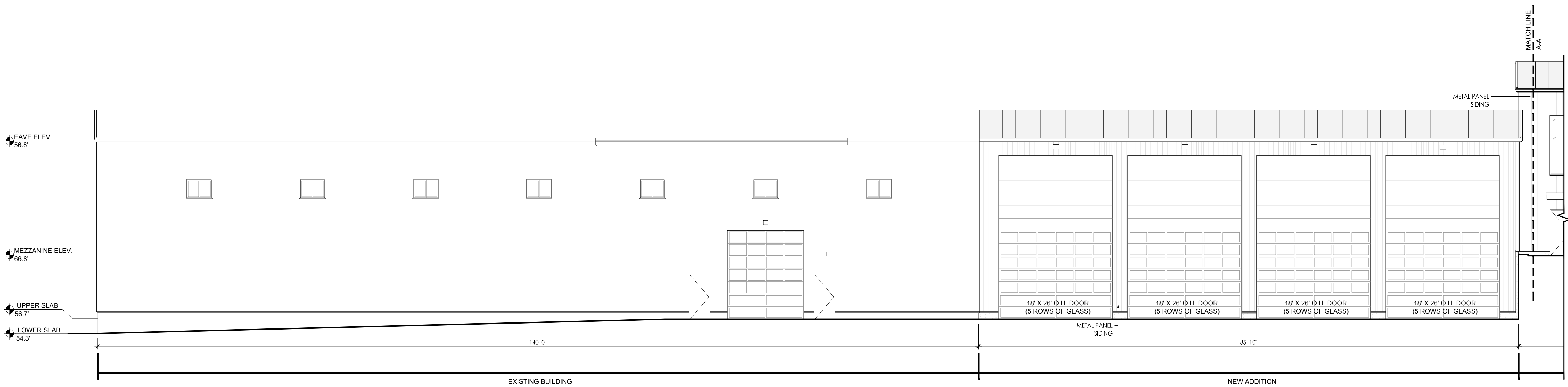
2 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

Revision History		
#	Date	Issuance

SEAL

CONCEPTUAL DESIGN

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LOCUS MAP



1 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT NAME:

SAFE HARBOR
MARINAS - ELIOT
ELIOT, ME

DRAWING TITLE:

EXTERIOR
ELEVATION

PROJECT No: 22-035

DATE: MAR. 31, 2023

DRAWING SCALE: As indicated

DRAWING No:

A2.2

OWNER:



SAFE HARBOR MARINAS

SHM Kittery Point, LLC

DESIGN-BUILDER:

HL Patten
CONSTRUCTION
4 Shapleigh Rd.
Kittery, ME
207.439.2008

ARCHITECT:

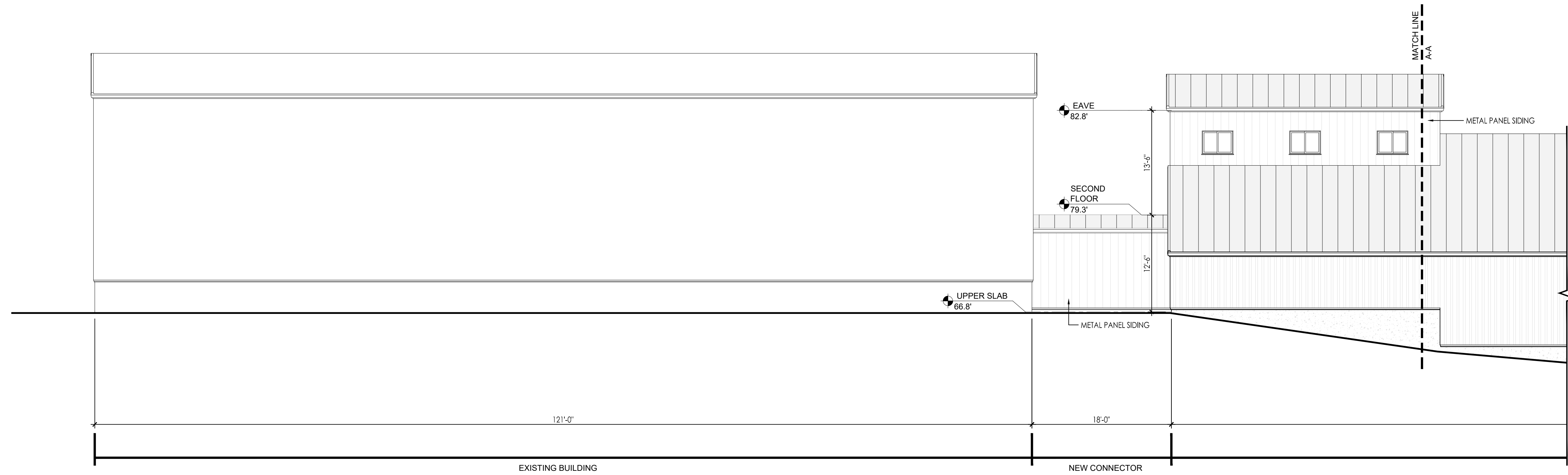
PORT ONE
ARCHITECTS

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603.436.8891
info@portonearchitects.com

CIVIL / STRUCTURAL ENGINEER:

CIVIL CONSULTANTS
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South Berwick, ME 03908
207.384.2550

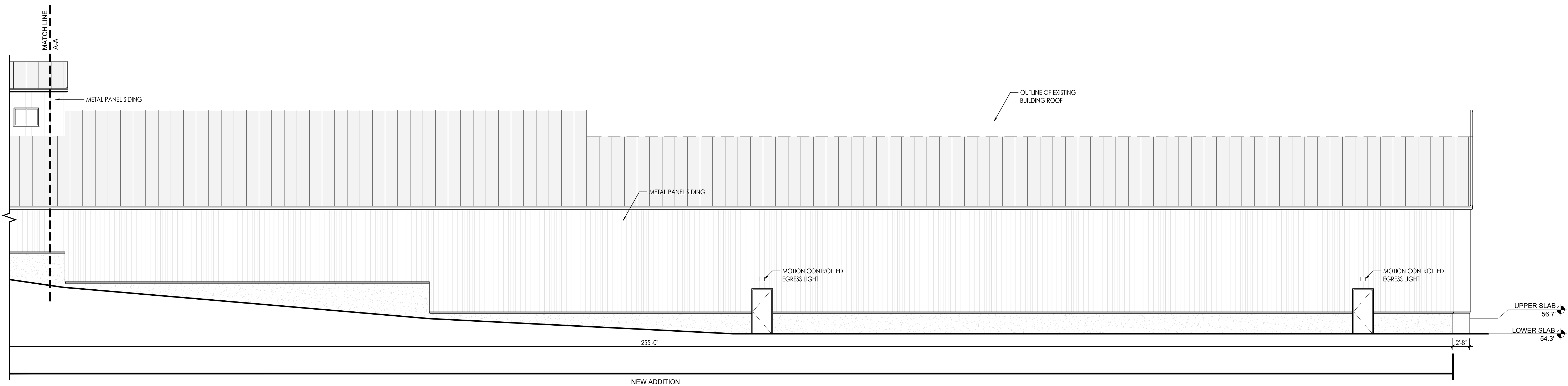
MEPPF ENGINEER:



2 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

Revision History		
#	Date	Issuance

SEAL



1 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

CONCEPTUAL DESIGN

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LOCUS MAP

PROJECT NAME:

SAFE HARBOR
MARINAS - ELIOT
ELIOT, ME

DRAWING TITLE:

EXTERIOR
ELEVATION

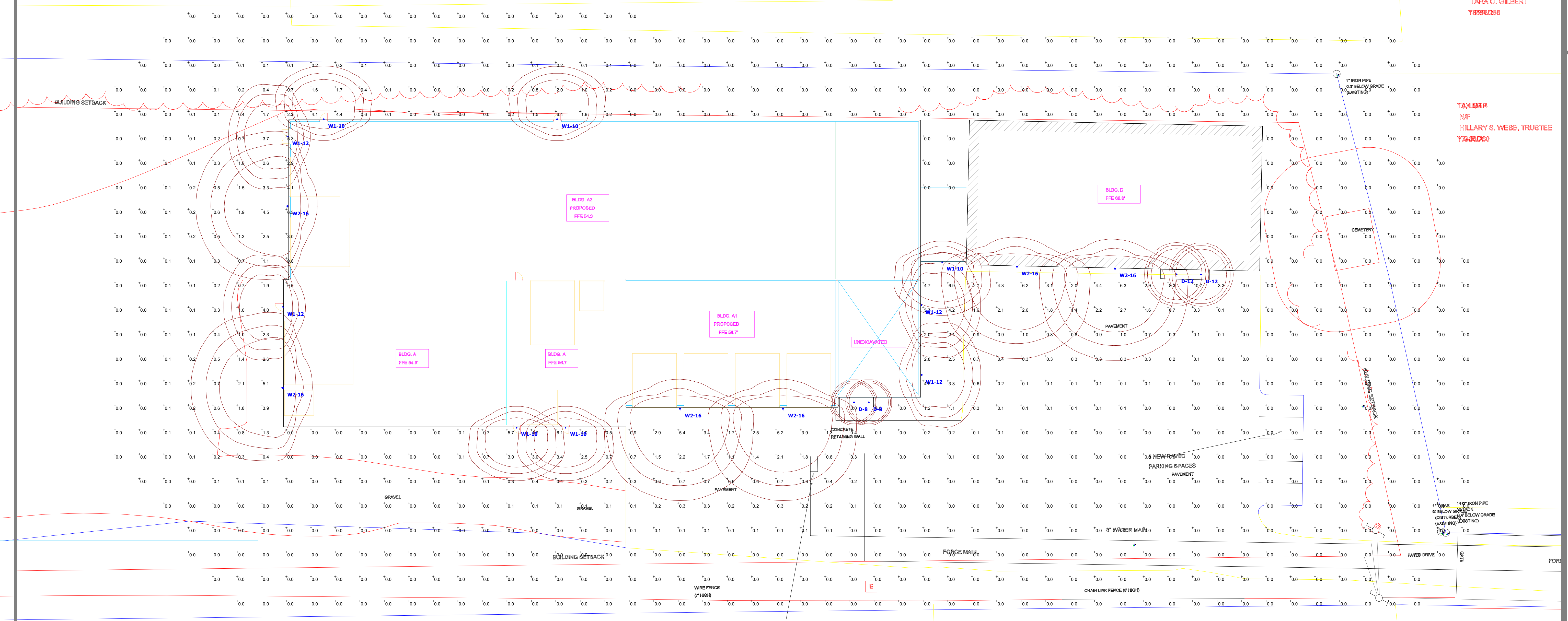
PROJECT No: 22-035

DATE: MAR. 31, 2023

DRAWING SCALE: As indicated

DRAWING No:

A2.3

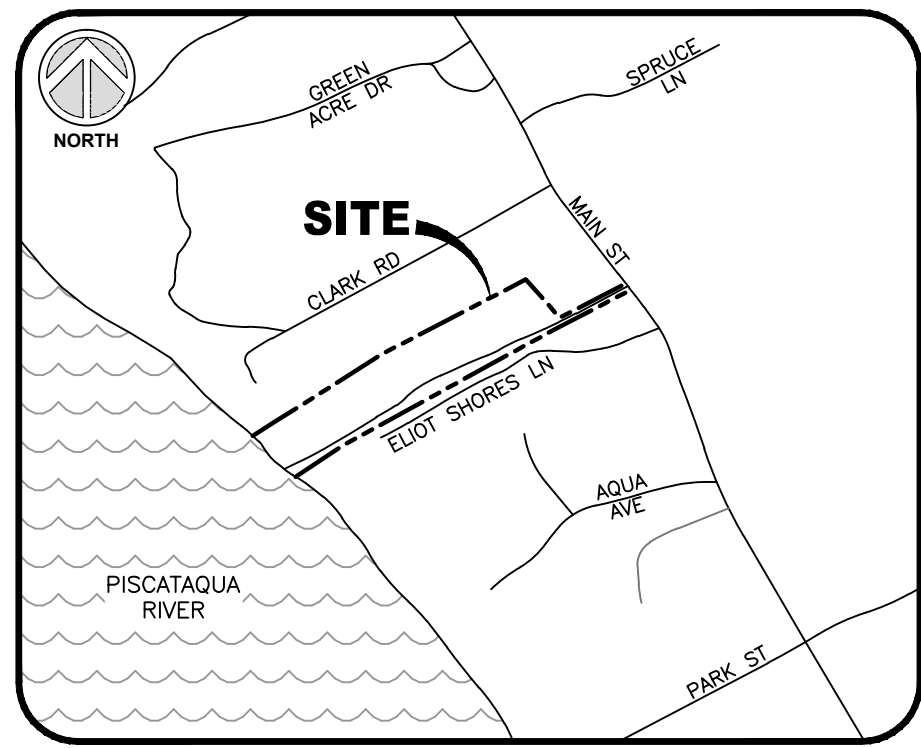


SAFE HARBOR MARINAS
Site Lighting Layout

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribution	Polar Plot
	W1-10		5	Lithonia Lighting	WDGE1 LED P2 30K 80CRI VF MVOLT SRM DDBXD	WDGE1 LED Wallpack; mounted at 10ft	LED	WDGE1_LED_P2_30K_80CRI_VF.ies	1872	0.9	15.0178	TYPE II, VERY SHORT, BUG RATING: B1 - U0 - G0	
	W1-12		4	Lithonia Lighting	WDGE1 LED P2 30K 80CRI VF MVOLT SRM DDBXD	WDGE1 LED Wallpack; mounted at 12ft	LED	WDGE1_LED_P2_30K_80CRI_VF.ies	1872	0.9	15.0178	TYPE II, VERY SHORT, BUG RATING: B1 - U0 - G0	
	W2-16		6	Lithonia Lighting	WDGE2 LED P4 30K 80CRI VF MVOLT SRM DDBXD	WDGE2 LED Wallpack; mounted at 16ft	LED	WDGE2_LED_P4_30K_80CRI_VF.ies	4247	0.9	34.96	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1	
	D-8		2	Lithonia Lighting	LDN6 30/20 L06AR LD MVOLT EZ10	6IN LDN Downlight; mounted at 8ft (in canopy)	LED	LDN6_30_20_L06AR_LD.ies	1771	0.9	22.52	DIRECT, SC-0=1.02, SC-90=1.03	
	D-12		2	Lithonia Lighting	LDN6 30/20 L06AR LD MVOLT EZ10	6IN LDN Downlight; mounted at 12ft (in canopy)	LED	LDN6_30_20_L06AR_LD.ies	1771	0.9	22.52	DIRECT, SC-0=1.02, SC-90=1.03	

TAX MAP 6, LOT 63-
N/F
RAMONA G. ROBINSON AND
LUIS A. VALDEZ
Y3287/D.

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
05/04/2023
Scale
1"=20'
Drawing No.
Summary



VICINITY MAP
NOT TO SCALE

TITLE COMMITMENT LEGAL DESCRIPTION, Continued

Also conveying any property which is generally to the south of the property line located off Main Street, Eliot, County of York and State of Maine, said property line described as follows:

BEGINNING at the most northerly corner of land belonging to ALPAT CO., INC., said corner is shown as a 1" diameter iron pipe buried 3" (found) on a plan entitled "Standard Boundary Survey and Subdivision Plan for the Taylor Family Estate", prepared by J.A. Davis and Associates, dated 01/12/2001, Scale: 1"=60', recorded at Plan Book 261, Page 23 of the York County Registry of Deeds. Said 1" diameter iron pipe is also southwesterly on a course bearing of South 60 degrees, 57 minutes, 36 seconds West a distance of 268.32 feet from a 3" x 4-1/2" x 9" high, granite bound with drill hole at Main Street, also shown on said plan; thence property line in common continues on a course of South 62 degrees, 29 minutes, 17 seconds West for a distance of 606.46' to a T-Bar with Eastern Surveying, stainless steel cap; thence South 57 degrees, 39 minutes, 35 seconds West for a distance of 478.53 feet to another T-Bar with Eastern Surveying, stainless steel cap; thence on the same course of South 57 degrees, 39 minutes, 35 seconds West for a distance of 73.21' to a rebar and cap set on 12/29/00, and to the low water mark of the Piscataqua River.

Expressly excluding any property which is generally to the north of the property line described in the immediately preceding paragraph and as more particularly described in a Quitclaim Deed from ALPAT Co. Inc. to Danelle Taylor Hughes, Personal Representative of the Estate of Daniel J. Taylor dated January 18, 2001 and recorded in Book 10404, page 35.

Also hereby conveying an appurtenant easement to benefit the property of ALPAT, Co., Inc., conveyed by this deed and by a prior deed described at Book 5972, Page 209 of the York County

Registry of Deeds, to remaining intertidal land in the Piscataqua River to use any intertidal land currently used for docks, piers, floats, and moorings, and other currently existing structures in the intertidal land in the Piscataqua River, including with this appurtenant easement the right to access these existing structures for the purpose of repairing, maintaining and accessing and using these structures. This easement shall not permit the installation of any additional structures in intertidal land owned by the Estate of Daniel J. Taylor, Jr., its successors and/or assigns, that do not currently exist.

Said premises are also conveyed together with the benefit of an easement from PJ&A, LLC to ALPAT, CO., Inc., dated March 26, 2003 over the following described premises:
A certain tract or parcel of land located on the southwest side of Main Street, also known as route 103, in the Town of Eliot, County of York and State of Maine, depicted as "PROPOSED RIGHT OF WAY FOR TAX MAP 10 LOT 2" on a certain plan entitled "STANDARD BOUNDARY SURVEY OF Tax Map 10 Lot 2 & RIGHT OF WAY EXCHANGE PLAN FOR PROPERTIES AT 167 1/2 & 169 Main Street (aka Route 103) Eliot, York County, Maine", dated 1/15/03, by NorthEastern Surveying Inc. and to be recorded in the York County Registry of Deeds, and being more particularly described as follows:

Beginning at a point on the southwest sideline of said Main Street at the east corner of land now or formerly of PJ&A, LLC and thence running South 62°43'41" West a distance of 264.18 feet along land now or formerly of PJ&A, LLC to an iron pipe; thence turning and running North 40°39'19" West a distance of 10.68 feet to a point; thence turning and running North 62°43'19" East a distance of 264.34 feet to the southeast sideline of said Main Street; thence turning and running South 39°47'49" East along the southwest sideline of said Main Street a distance of 10.67 feet to the point of beginning.

ENCROACHMENT STATEMENT

- Buildings lie within setback(s) as shown.
- Building (A): 4.5'
- Building (B): 7.9'
- Building (C): 4.4'
- Building (D): 2.8'

TITLE COMMITMENT LEGAL DESCRIPTION

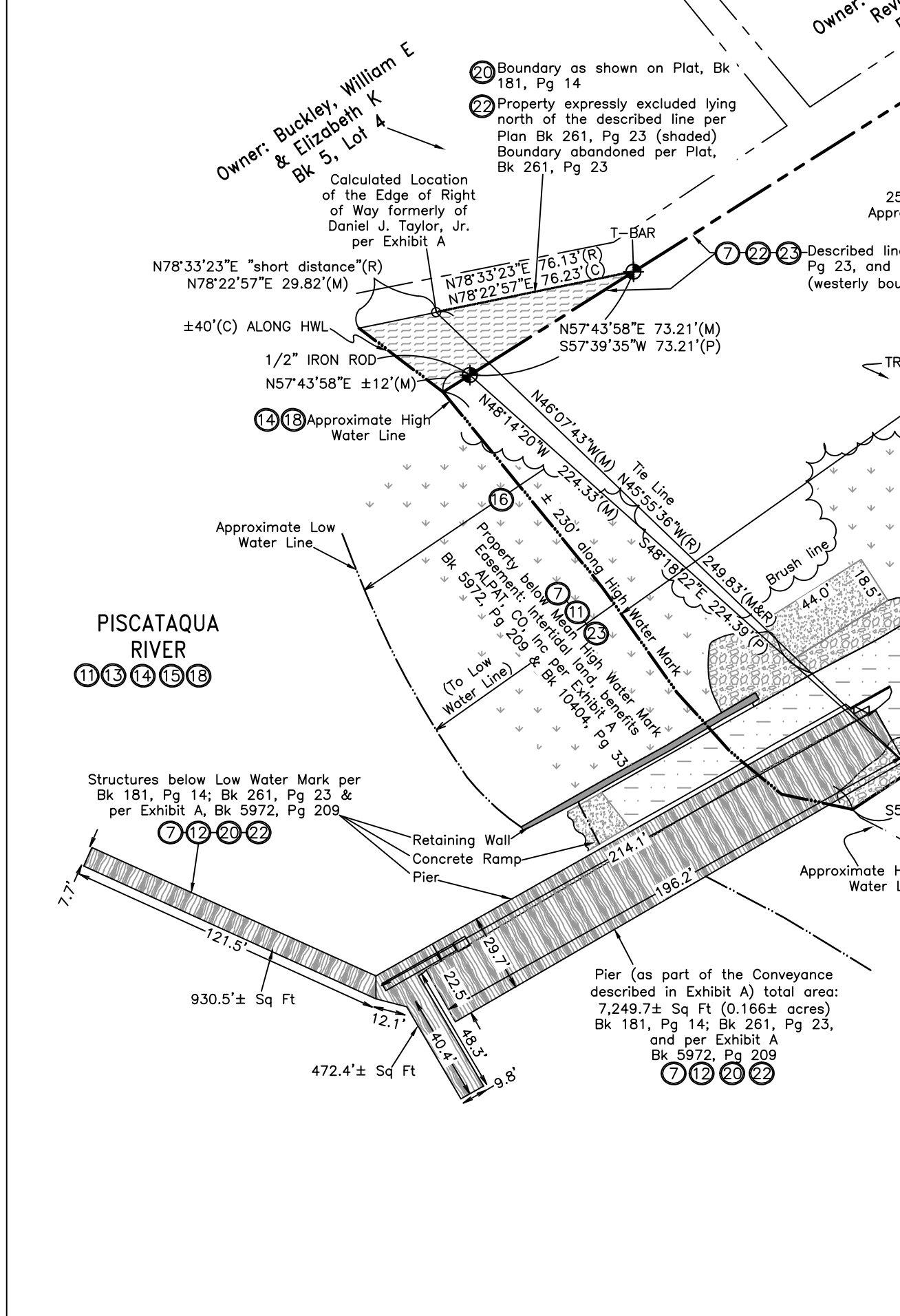
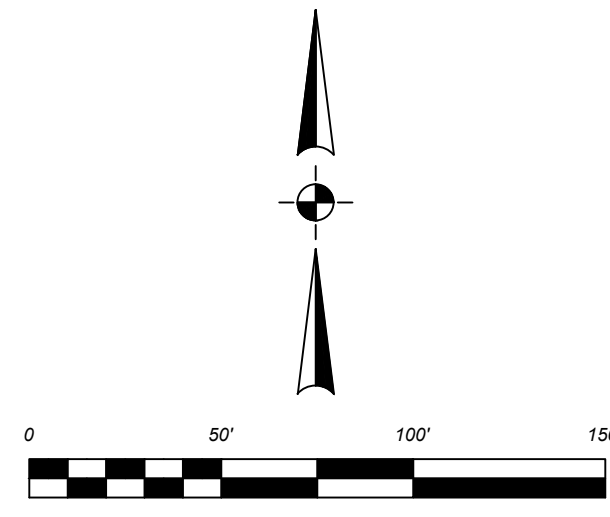
The land described in this map of survey is the same property as that described in Exhibit A of Chicago Title Insurance Company Commitment No. CHICAGO201480.007(2) with a commitment date of October 25, 2021, as follows:

A certain lot or parcel of land, together with the buildings thereon and appurtenances thereto, located on the Southwest side of Main Street, also known as State Route #103, in Eliot, County of York and State of Maine, and being further bounded and described as follows, to-wit:

BEGINNING at an iron pin found in the Southwest side of Main Street, also known as State Route #103, said iron pin marking the Northeast corner of land now or formerly of Cummins; thence proceeding on a bearing of South 62°44'54" West along land now or formerly of Cummins, a distance of 286.56 feet, more or less, to a 24" cherry tree; thence continuing on a bearing of South 61°27'53" West, along land now or former of Allain, a distance of 931.49 feet, more or less, to an iron pin found; thence continuing on a bearing of South 58°42'07" West, along land now or formerly of Allain, a distance of 174.70 feet, more or less, to an iron pin found near the high water mark of the Piscataqua River; thence continuing on the same bearing of South 56°42'07" West a short distance to the high water mark of the Piscataqua River; thence proceeding in a generally Northwesterly direction on a meandering line along the high water mark of the Piscataqua River (with a tie line bearing of North 45°55'36" West, a distance of 249.83 feet, more or less, to the edge of a right of way now or formerly of Daniel J. Taylor, Jr.); thence proceeding on a bearing of North 78°33'23" East, along said right of way, a short distance to a steel stake set at the end of said tie line call; thence continuing on the same bearing of North 78°33'23" East, along said right of way, a distance of 76.13 feet, more or less, to a steel stake; thence proceeding on a bearing of North 57°54'36" East along said right of way, a distance of 478.53 feet, more or less, to a steel stake; thence continuing on a bearing of North 62°44'18" East, along said right of way and land now formerly of said Taylor, a distance of 606.46 feet, more or less, to an iron pin found at the Northwest corner of land now or formerly of McLean; thence proceeding on a bearing of South 42°25'42" East, along land now or formerly of McLean, a distance of 84.67 feet, more or less, to an iron pin found; thence continuing on a bearing of South 39°28'14" East along land now or formerly of said McLean, a distance of 107.15 feet, more or less, to a steel stake set in the Southwest corner of land now or formerly of McLean; thence proceeding on a bearing of North 62°44'54" East, along land now or formerly of McLean and land now or formerly of Owens, a distance of 264.00 feet, more or less, to a steel stake set in the Southwesterly sideline of said Main Street, also known as State Route #103; thence proceeding on a bearing of South 38°37'12" East along the Southwesterly line of said Main Street, a distance of 31.31 feet, more or less, to the point of beginning. The subject premises comprise 6.15 acres, more or less.

Also including as part of this conveyance all of the grantor's right, title and interest in and to a pier commencing at the southwesterly corner of the subject premises and extending in a southwesterly direction into the Piscataqua River.

The above description is based upon a standard boundary survey of land of Cianbro Corporation, prepared by Kenneth D. Markley, Registered Land Surveyor No. 1322, on May 15, 1989. This survey plan is recorded in the York County Registry of Deeds at Plan Book 181, Page 14 and reference is made to said plan for a complete description of the premises herein conveyed.



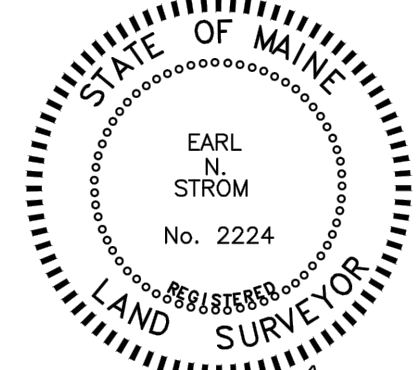
SURVEYOR CERTIFICATE

To: SH Marinas, LLC, SHM Kittery Point, LLC, and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on 09/27/2021.

Date of Plat or Map: 04/05/2022

EARL N. STROM, PLS 2224



SURVEY LEGEND

- SUBJECT PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- CENTERLINE
- EASEMENT AS NOTED
- SETBACK LINE
- CHAIN LINK FENCE
- WOOD RAIL FENCE
- CONCRETE SURFACE
- GRASS/NATURAL GROUND
- WOOD SURFACE
- ASPHALT SURFACE
- RETAINING WALL
- LOW WATER LINE (APPROXIMATE)
- HIGH WATER LINE (APPROXIMATE)
- SPOULGE PILE
- FOUND MONUMENT AS NOTED
- CALCULATED CORNER LOCATION
- BOLLARD
- WOODEN POST
- UTILITY POLE
- UTILITY POLE WITH DROP
- UTILITY POLE - UNUSED
- UTILITY POLE WITH SECURITY CAM
- GUY ANCHOR
- ELECTRICAL BOX/CABINET
- GATE MOTOR & ARM
- GATE KEYPAD
- SECURITY CAMERA
- PROPANE
- PROPANE FILL VALVE
- MANHOLE - STORM
- STORM DRAIN GRATE
- WATER VALVE
- WATER SPOIGT
- WATER METER
- SIGN
- MEASURED BEARING/DISTANCE
- CALCULATED BEARING/DISTANCE
- RECORD BEARING/DISTANCE PER TITLE
- RECORD BEARING/DISTANCE PER PLAN BOOK 261, PAGE 23

SURVEYOR'S NOTES

- The address of the surveyed property is 857 Main Street, Town of Eliot, York County, Maine, 03903.
- Record Owner: MGX II, LLC
3 Bond Rd
Kittery, Maine 03905
- The site lies in Flood Zone "X" per FEMA Flood Insurance Rate Map No. 23040010B dated 06/05/1989.
- There are no identifiable parking spaces observed on the subject property.
- No evidence of potential wetlands was observed on the subject property at the time the survey was conducted, nor has this survey received any documentation of any wetlands being located on the subject property.
- There is visible evidence of the following servitudes: electric utility, water service, gas, and sewer. Visible and above-ground utilities have been depicted on the survey. Utilities should be located as necessary.
- There was no evidence of recent earth moving work, building construction or additions at the time of survey.
- There were no proposed changes to street right-of-way lines per available information, nor evidence of recent street or sidewalk construction or repairs.
- The gross land area of the subject property is 267,894± Sq Ft (6.15± Acres) to Approximate High Water.
- Bearings are based on Me State Plane, West Zone, per GPS observation.
- No bulkhead or seawall observed along the subject property at time of survey.
- At the time of the survey, there was no evidence of any division or party walls.
- The right-of-way width of Main Street is not confirmed, and not depicted on previous surveys.
- At the time of survey, no encroachments were observed onto or beyond the subject parcel.
- The property is contiguous to all public rights-of-way shown hereon, without gaps, gores, or overlapping portions.
- The subject property has direct access to Main Street, aka Route 103.
- The distance from the easternmost property corner to the intersection of Main Street (Route 103) and Greenwood Street is 27.7 feet.
- At the time of the survey, there were seven (7) buildings located on the property. Four (4) of these present as two (2) structures which have add-ons or are built adjacently, but are counted here separately. See buildings (C) & (D), and (E) & (F).
- At the time of the survey, there was no evidence that the subject property is being used as a solid waste dump, sump, or sanitary landfill.
- At the time of the survey, a cemetery or family burial ground was observed within the subject property as shown hereon (near the northwesterly property boundary).
- The number of existing slips/moorings within the subject property is not known.

ZONING DATA

ZONE V - Village District (Sec. 45-28B)		
SETBACKS	REQUIRED	EXISTING
FRONT	30'	>30'
STREET SIDE	20'	N/A
INTERIOR SIDE	20'	>20'
REAR	30'	>30'
BULK	REQUIRED	EXISTING
MIN LOT SIZE	1 Acre	267,300 Sq Ft
BUILDING FOOTPRINT	NONE	N/A
REQUIRED WIDTH	100'	29.85'
MAX BUILDING COVERAGE	20%	12%
BUILDING HEIGHT	35'	34'
PARKING	REQUIRED	EXISTING
1 SPACE FOR EACH 150 SQ FT OF RETAIL FLOOR AREA (32,054 Sq Ft/150=214 spaces)	NO DESIGNATED SPACES	AT TIME OF SURVEY

The zoning jurisdiction applicable to the property is the Town of Eliot, Maine.
Zoning information is from a Zoning Report prepared by: Bureau Veritas
10461 Mill Run Circle, Suite 1100
Owings Mills, Maryland 21117
(800) 733-0660
prepared for:
Safe Harbor Marinas
14785 Preston Road
Dallas, Texas 75254
BV Project # 152768.21R000 001.259 Dated 10/25/2021
No representation is made as to the accuracy or completeness of the above third party information shown on this survey. Compliance is beyond the scope of this survey. Any user of said information is urged to contact the local zoning agency directly.

NOTES CORRESPONDING TO SCHEDULE B

- The commitment for title insurance issued by Chicago Title Insurance Company, Commitment No. CHICAGO201480.007(2) with a commitment date of October 25, 2021 contains the following exceptions which are survey matters:
- Any exception, reservation, restriction, easement or condition set out in the attached Exhibit A. (Items are plotted and shown hereon.)
 - Title to that portion of the property lying below the mean high water mark of the Piscataqua River. (Piscataqua River shown hereon.)
 - Title in and to the land and any structures lying below the low mark of the Piscataqua River. (Features observed/surveyed are shown hereon.)
 - Rights of the upper and lower riparian owners in and to the free and unobstructed flow of water of the Piscataqua River extending through the subject premises, without diminution or pollution. (Piscataqua River shown hereon.)
 - Navigational servitudes and all other statutory and regulatory rights and powers of the United States, the State of Maine, the Town of Eliot and the public over the Piscataqua River and its shorelands extending to the ordinary high water mark thereof and which may be exercised without obligation for compensation to the riparian rights thereof. (Piscataqua River shown hereon.)
 - The consequences of any change in location of the Piscataqua River which forms the southwesterly boundary of the subject premises. (Piscataqua River shown hereon.)
 - Rights, if any, of the public to use as a public beach or recreation area any part of the land lying between the body of water abutting the subject property and the natural line of vegetation, bluff, extreme high water line, or other apparent boundary line separating the publicly used area from the upland private area. (General location shown hereon.)
 - Title to artificially filled land, submerged land and lands lying below the ordinary high water mark of the Piscataqua River is specifically excepted from the coverage of this policy. (Piscataqua River shown hereon.)
 - Rights of others for ingress and egress to an existing cemetery located within the insured premises. (Cemetery shown hereon.)
 - Such state of facts as set forth on a plan entitled "Standard Boundary Survey of Land of Cianbro Corporation, Main Street (Route 103) Eliot, Maine" dated May 15, 1989, prepared by Eastern Surveying and recorded in Plan Book 181, Page 14. (Items are plotted and shown hereon.)
 - Easements and rights as set forth in an Easement Deed from Alpat Co Corporation to Central Maine Power Company and New England Tel. & Tel. Co. dated March 31, 1992 and recorded in Book 6079, Page 199. (Easement and associated appurtenances are plotted and shown hereon.)
 - Such state of facts as set forth on a plan entitled "Standard Boundary Survey and Subdivision for Taylor Family Estate, 173 Main Street, Eliot, Maine 03903," dated January 12, 2001, prepared by J.A. Davis & Associates and recorded in Plan Book 261, Page 23. (Previous boundary near the most westerly corner of the subject property is abandoned per this survey, as shown.)
 - Conditions and restrictions for an appurtenant easement as set forth in a Deed of Sale by Personal Representative (Testate) from Danelle Taylor Hughes to ALPAT Co, Inc. dated January 18, 2001 and recorded in Book 10404, Page 33. (Applies to property generally south of the property line indicated hereon; general location of intertidal land shown hereon.)
 - Conditions regarding an appurtenant easement as set forth in an Easement Deed from PJ & A, LLC to ALPAT, Co., Inc., dated March 26, 2003 and recorded in Book 14531, Page 176. (Described easement is plotted and shown; also described in Exhibit A.)

AREA SUBJECT PROPERTY (Above Approx. Mean High Water)	AREA EXISTING BUILDINGS
267,894± SQ FT (6.15± ACRES)	(A) 7,852± SQ FT
	(B) 134± SQ FT
	(C) 633± SQ FT
	(D) 960± SQ FT
	(E) 2,788± SQ FT
	(F) 8,417± SQ FT
	(G) 10,670± SQ FT
	TOTAL: 32,054± SQ FT

Drawn By: HH Checked By: ENS

DATE: 01/10/2022

NO.	DATE	DESCRIPTION
1	01/15/2022	Address comments
2	02/18/2022	Zoning Information

SURVEYOR:

CSSI
Commercial Surveying Specialists, Inc.
357 6th Avenue West
Burlington, FL 34205
(405) 202-3001

SURVEYOR DRAWING NUMBER
21-09-027

SHEET TITLE
2022 ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:

SAFE HARBOR MARINAS, LLC
14785 Preston Road Suite 975
Dallas, TX 75254

PROJECT NUMBER
ME-4

SITE ADDRESS
857 MAIN STREET
ELIOT, ME 03903

WORK COORDINATED BY:

COX LEVIN
National Land Survey Consultants
surveys@coxlevin.com
781-640-3309 • www.coxlevin.com

SITE NAME
ELIOT ME

SHEET NUMBER
1 of 1



TOWN OF ELIOT MAINE
 PLANNING OFFICE
 1333 State Road
 Eliot ME, 03903

To: Planning Board
 From: Jeff Brubaker, AICP, Town Planner
 Cc: Ken Wood, PE, Attar Engineering, Applicant’s Representative
 Mike Sudak, EI, Attar Engineering, Applicant’s Representative
 Shelly Bishop, Code Enforcement Officer
 Date: July 17, 2023 (report date)
 July 25, 2023 (meeting date)
 Re: PB23-13: 771 & 787 Main St./Shipping Ln. (formerly Map 6, Lots 43, 44, & 154): Subdivision Plan Amendment – Clover Farm Subdivision – Fire hydrant relocation

Application Details/Checklist Documentation	
Address	771 & 787 Main St. (Shipping Ln.)
Map/Lot	6/ 43, 44, & 154 (formerly)
PB Case#	23-13
Zoning District(s)	Village
Shoreland Zoning District(s)	Limited Residential, Resource Protection
Property Owner(s)	LJE Property Development LLC; Jesse Realty LLC; Kristan Glidden
Applicant Name(s)	LJE Property Development LLC; Jesse Realty LLC; Kristan Glidden; Agent: Attar Engineering, Inc.
Proposed Project	Relocation of fire hydrant in approved subdivision
✓ Application Received by Staff	May 31, 2023
✓ Application Sent to Staff Reviewers	July 5, 2023 – sent revised plans to Eliot Fire Chief and Kittery Water District; applicant had previously discussed amendment with them
Application Reviewed By PB	July 25, 2023 (scheduled)
Fee Paid and Date	To be confirmed

Overview

Applicant seeks review and approval of an application to amend the approved subdivision plan to relocate the proposed subdivision fire hydrant 275 ft. closer to the Main Street entrance, to a location at the side lot line between Lots 2 and 3. The hydrant in the approved plan is in the front of Lot 4.

The Fire Chief and Kittery Water District are both amenable to the request. KWD had some initial comments on proposed changes to the water lines that were addressed by the applicant with a revised plan that you see here. KWD notes that the water main material would be high-density polyethylene (HDPE) instead of PVC as noted on the plans.

PB23-13: 771 & 787 Main St./Shipping Ln. (formerly Map 6, Lots 43, 44, & 154): Subdivision Plan Amendment – Clover Farm Subdivision – Fire hydrant relocation

The approved subdivision plan has been recorded, the performance guarantee has been accepted, and construction is about to begin on the interior street, named Shipping Lane.

Subdivision amendments require approval by the PB under 41-182(b), “by application or by subdivision review”. In this case, the amendment is minor enough, in my opinion, to warrant a simple Request for Planning Board Action application that can be considered by the PB without a public hearing.

Recommendation

Approve the subdivision plan amendment

Motion templates

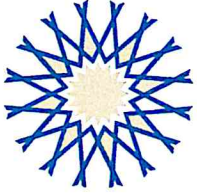
Approval (recommended)

Motion to approve the subdivision plan amendment application for PB23-13 to relocate the proposed fire hydrant, along with water line changes, in the Clover Farm Subdivision (771 and 787 Main St.), along the new subdivision street named Shipping Ln.

Denial

Motion to deny the subdivision plan amendment application for PB23-13 for the following reason or reasons:

1. _____
2. _____
3. _____



ATTAR

ENGINEERING, INC

CIVIL • STRUCTURAL • MARINE

Mr. Jeffery Brubaker, AICP, Town Planner
Town of Eliot, Maine
1333 State Road
Eliot, Maine 03903

May 31st, 2023
Project No. C174-21

**RE: Request for Planning Board Action – Minor Amendment to Approved Subdivision
Clover Farm Subdivision (Tax Map 6, Lots 43, 44, & 154)
771 & 787 Main Street, Eliot, Maine**

Dear Mr. Brubaker:

On behalf of LJE Development, LLC., Jesse Realty, LLC., and Kristan Glidden, I have enclosed for your review and consideration updated Plan Set sheets to reflect the proposed minor amendment for which Planning Board action is required.

The proposed fire hydrant to be installed along the constructed travelway for this development (Shipping Lane) is to be relocated closer to Main Street. The original location was at station 6+60, between the driveway of Lot 4 and the beginning of the cul-de-sac. The relocated position shall be at station 3+85, still within the road right-of-way and adjacent to the intersecting sideline between Lots 2 & 3.

This revision comes after conversations between the Applicants and the Eliot Fire Chief on the potential relocation of the hydrant to have its position be more centrally located within the development and also reduce the amount of 8" D.I. main required to be installed. Signoff from Chief Muzeroll is attached, which also summarizes these conversations described above.

The hydrant relocation shall not impact or require modifications to any other utility systems, nor does its new position require the adjustment of any roadside stormwater elements. Sheet 3 (Grading & Utilities Plan) and Sheet 4 (Roadway Plan & Profile) are attached and have amendment items depicted in revision clouds.

We look forward to discussing this amendment with the Planning Board at their next available Planning Board meeting. Please contact me for any additional information or clarifications required.

Sincerely;

Michael J. Sudak, E.I.
Staff Engineer

cc: LJE Development, LLC., Jesse Realty, LLC., Kristan Glidden
C174-21 Amend Cover 31May2023



TOWN OF ELIOT

1333 STATE RD., ELIOT, ME 03903

REQUEST FOR PLANNING BOARD ACTION

(FOR MISCELLANEOUS USES OR CHANGES)

- Applicant Attar Engineering, Inc.
 Mailing Address 1284 State Road City Eliot State ME Zip 03903
 Telephone # 207-439-6023 Email address mike@attarengineering.com
(TO RECEIVE MEETING NOTICES)
- Property Owner LJE Property Development LLC, Jesse Realty, LLC, & Kristan Glidden
 Mailing Address 2 Punkin Town Road, Suite 340 City South Berwick State ME Zip 03908
- Property address 771 & 787 Main Street Tax Map # 6 Lot # 43, 44, & 154
 Size (acres) 10.95 (combined) Zoning District Village Shoreland Overlay District? Yes, RP & LR
- Conforming Lot? YES NO Conforming Use? YES NO Conforming Structure? YES NO
- Legal interest in property identified by applicant by:
 - Owner (copy of deed &/or tax records)
 - Pending Owner (copy of purchase & sale agreement)
 - Lease (copy of lease agreement with owners & applicants signature)
 - Corporate Officer (letter from corporation)
 - Other (identify: _____)
- Nature of action requested:
 (Example: *Request to amend a a previously approved site plan by adding a 10' x 20' addition*)
Relocation of proposed fire hydrant 275' closer to Main Street, from frontyard of Lot 4 adjacent to cul-de-sac to the sideline between Lots 2 & 3 where it intersects the road right-of-way.

- Attach ten (10) copies of sketch plan of property showing in approximate dimensions, all zoning districts, existing/proposed structures, parking areas, streets, entrances, existing and proposed setbacks, proposed lot divisions, proposed open space to be preserved, common areas, site & public improvements and facilities, any areas of excavation and grading, and any other criteria needed to evaluate request. Sketch plan is not required if so advised by the Planning Assistant.
- Applicants signature Michael J. Sudak, agent Date 5/31/23
- Property owners signature _____ Date _____

TO BE COMPLETED BY PLANNING ASSISTANT

Date application received by PA _____ PA signature _____

Sketch plan required? YES NO

FEE AMOUNT \$ _____ DATE PAID: _____ FORM OF PAYMENT: _____

Return to:
LJE Property Development, LLC

DLN:1002040112472

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS: That **CPN Realty, LLC**, a New Hampshire Limited Liability Company, with a mailing address of P.O. Box 657, Eliot, ME 03903, for consideration paid grants to **LJE Property Development, LLC**, a Maine Limited Liability Company, with a mailing address of 2 Punkin Town Road, Suite 340, South Berwick, ME 03908, with WARRANTY COVENANTS:

A certain unimproved parcel of land, situated in the Town of Eliot, County of York, State of Maine, located on the westerly side of Main Street, containing approximately 4.115 acres of upland, more or less, and the associated tidal flats in the Piscataqua River, being a reconfiguration of two lots:

1) A portion of the lands of CPN Realty, LLC described in a deed recorded at the York County Registry of Deeds in Book 17849, Page 559 and shown as LOT 1 on a plan by CIVIL CONSULTANTS, dated November 6, 2018, entitled "PROPOSED DIVISION OF LAND OF HOME FIELD TRUST, ORLEY MAE WHITE, TRUSTEE, 787 MAIN ST., ELIOT, YORK COUNTY, ME" - project 16-166.00 (SHEET D1), and also as shown on a plan by CIVIL CONSULTANTS, dated December 12, 2018, entitled "PLAN OF LAND OF CPN REALTY, LLC 787 MAIN STR., ELIOT, YORK COUNTY, ME" - project 16-166.00 (SHEET D2), recorded at the York County Registry of Deeds in Plan Book 399, Page 10, and

2) A portion of the lands of Jesse Realty, LLC described in a deed recorded at the York County Registry of Deeds in Book 17849, Page 563 and shown as LOT 2 on a plan by CIVIL CONSULTANTS, dated November 6, 2018, entitled "PROPOSED DIVISION OF LAND OF HOME FIELD TRUST, ORLEY MAE WHITE, TRUSTEE, 787 MAIN ST., ELIOT, YORK COUNTY, ME" - project 16-166.00, and also as shown on a plan by CIVIL CONSULTANTS, dated December 12, 2018, entitled "PLAN OF LAND OF JESSE REALTY, LLC - 787 MAIN STR., ELIOT, YORK COUNTY, ME" - project 16-166.00 (SHEET D3), recorded at the York County Registry of Deeds in Plan Book 399, Page 11.

(Reference is also made to a plan by CIVIL CONSULTANTS, entitled "BOUNDARY PLAN PREPARED FOR JAMES D. & ORLEY MAE WHITE, Site Location: 139 Main Street, Eliot, Maine", project number 89-115.01, dated June 21, 2005, recorded at the York County Registry of Deeds in Plan Book 302, Page 6; bearings as shown on the first three referenced plans are based on Grid North, Maine State Plane Coordinate System, West Zone, NAD 83; bearings as shown on the second referenced plan are based on magnetic north; the orientation difference is 14°28'49")

Maine R.E. Transfer Tax Paid

The reconfigured lot of 4.115 acres, more or less, is show as "RECONFIGURED LOT 1" on a plan by CIVIL CONSULTANTS, dated February 5, 2020, entitled "PROPOSED LOT RECONFIGURATION OF LAND OF JESSE REALTY, LLC & CPN REALTY, LLC - 787 MAIN STR., ELIOT, YORK COUNTY, ME", project number 16-166.00 (SHEET D4), and is more particularly described as follows:

UPLAND PARCEL:

BEGINNING at the northeasterly corner of the herein described parcel, a point near the southerly common corner of land now or formerly of Franklin and Carolyn B. Hutchinson described in a deed recorded at the York County Registry of Deeds in Book 1888, Page 554 and land now or formerly of Christopher S. Hayden described in a deed recorded at the York County Registry of Deeds in Book 15753, Page 227, located at a tie course of S 54°21'53" W, 324.47 feet from a flat iron bar in the westerly line of Main Street which marks the southeasterly corner of land now or formerly of the June Remignanti Revocable Trust as described in a deed recorded at the York County Registry of Deeds in Book 15451, Page 115 and the most northeasterly corner of "RECONFIGURED LOT 2" shown on the last referenced plan (SHEET D4);

Thence S 59°55'20" E, along "RECONFIGURED LOT 2", 29.48 feet to a point;

Thence generally southerly, following the arc of a circular curve concave to the east and along "RECONFIGURED LOT 2", an arc length of 44.07 feet to a point marked by a 5/8" diameter rebar with a cap marked "PLS 1302 CIVIL CONSULTS", said curve is additionally defined by the following elements: radius=125.00 feet, central angle=20°12'00", chord bearing=S 15°54'14" W, chord length=43.84 feet;

Thence S 05°48'14" W, along "RECONFIGURED LOT 2", 77.39 feet to a point marked by a 5/8" diameter rebar with a cap marked "PLS 1302 CIVIL CONSULTS";

Thence S 05°48'14" W, along "RECONFIGURED LOT 2", 36.45 feet to a point;

Thence S 84°11'46" E, along "RECONFIGURED LOT 2", 50.00 feet to a point;

Thence generally southerly, following the arc of a circular curve concave to the east and along "RECONFIGURED LOT 2", an arc length of 25.99 feet to a point, said curve is additionally defined by the following elements: radius=75.00 feet, central angle=19°51'20", chord bearing=S 04°07'26" E, chord length=25.86 feet;

Thence S 14°03'06" E, along "RECONFIGURED LOT 2", 67.96 feet to a point;

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Thence S 19°06'22" E, along "RECONFIGURED LOT 2", 73.48 feet to a point marked by a 5/8" diameter rebar with a cap marked "PLS 1302 CIVIL CONSULTS";

Thence S 41°35'50" W, along "RECONFIGURED LOT 2", 294.40 feet to a point marked by a 5/8" diameter rebar with a cap marked "PLS 1302 CIVIL CONSULTS";

Thence S 44°45'45" W, along "RECONFIGURED LOT 2", 270.00 feet to a point marked by a 5/8" diameter rebar with a cap marked "PLS 1302 CIVIL CONSULTS";

Thence S 44°45'45" W, along "RECONFIGURED LOT 2", 29.68 feet to a point marked by a 5/8" diameter rebar with a cap marked "PLS 1302 CIVIL CONSULTS";

Thence S 44°45'45" W, along "RECONFIGURED LOT 2", 5.47 feet to a point at normal high-water line of the Piscataqua River;

Thence northwesterly by the meanders of the normal high-water line of said river, approximately 190 feet to a point at the westerly end of a stone wall, said point being located at a tie course and distance of N 53°21'59" W, 188.06 feet from the last described point;

Thence N 30°44'22" E, along a stone wall and land now or formerly of Debra M. and John T. Croiser, trustees as described in a deed recorded at the York County Registry of Deeds in Book 16975, Page 166, 25.45 feet to the end of said wall;

Thence N 27°15'02" E, by said Crosier land, 44.22 feet to the end of another stone wall;

Thence N 31°53'32" E, along said Crosier land, 197.04 feet to a point in said wall and the northwesterly corner of the Remick Family Burial Ground;

Thence the following three courses and distances around said Burial Ground as defined by granite posts:

S 56°28'01" E, 66.91 feet;

N 32°41'05" E, 68.33 feet;

N 57°48'03" W, 67.82 feet to a point in the last prior-referenced stone wall and said land of Crosier;

Thence N 31°55'36" E, along said wall and land of Crosier, 20.04 feet to a 6" by 6", 4-foot-tall concrete post at the end of said wall;

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Thence N 31°53'25" E, by said Crosier land, 180.28 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311";

Thence N 31°53'25" E, by said Crosier land, 150.00 feet to a 6" by 6", 5-foot tall concrete post;

Thence N 54°21'53" E, by land now or formerly of Christopher S. Hayden as described in a deed recorded at the York County Registry of Deeds in Book 15753, Page 227, 100.00 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311";

Thence N 54°21'53" E, by said Hayden land, 34.58 feet to the POINT OF BEGINNING;

Together with all of the appurtenant tidal lands in the Piscataqua River, the division line common to "RECONFIGURED LOT 2", across the tidal lands, to extend on a course of S 43°47'23" W from the southwesterly corner of the herein-described upland parcel;

Together with easements of record benefitting the herein-described parcel, but excepting those existing between the parties herein, which are intended to be terminated and replaced by those rights as described herein, and

Subject to easements of record burdening the herein-described parcel, but excepting those existing between the parties herein, which are intended to be terminated and replaced by those rights as described herein;

The subject parcel is conveyed together with an easement to use the "PROPOSED PRIVATE ACCESS WAY" depicted on the last referenced plan (SHEET D4), in common with the owners of "RECONFIGURED LOT 2" as shown on said plan, for a joint driveway, for ingress and egress from and to Main Street, by foot and by vehicle, and for the construction and maintenance of above ground and below ground utilities;

The subject parcel is burdened by an easement to benefit the owners of "RECONFIGURED LOT 2", 10-feet in width, in a mutually convenient location, to allow for a connection to any existing or future waterlines constructed within the 30-foot water line easement described in deed recorded at the York County Registry of Deeds in Book 1985, Page 188;

The subject parcel is subject to and benefitted by mutually beneficial rights to use, for ingress and egress, the existing gravel road which extends southerly into "RECONFIGURED LOT 1" and "RECONFIGURED LOT 2" beyond the southerly limit of the easement area of the "PROPOSED PRIVATE ACCESS WAY" depicted on the last referenced plan (SHEET D4), in common with owners "RECONFIGURED LOT 2".

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Meaning and intending to describe and convey the same premises conveyed to CPN Realty, LLC by virtue of a deed from CPN Realty, LLC and Jesse Realty, LLC dated February 24, 2020 and recorded in the York County Registry of Deeds at Book 18181, Page 913.

By executing this Deed, the undersigned further certify that they named in the Operating Agreement and Certificate of Formation as two of the persons authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property on behalf of the limited liability company and such authority has not been amended, modified or revoked; that the Operating Agreement authorizes them to take all steps necessary to convey the premises or interests described in the above deed on the terms and conditions contained herein; and that no member of the LLC has filed for bankruptcy protection.

Executed this 24 day of September, 2020.

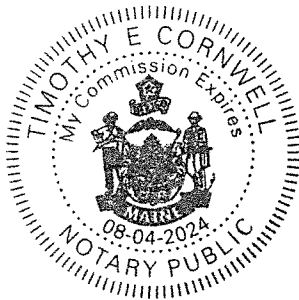
CPN Realty, LLC

By: Laurie A. Chase
Laurie A. Chase, Member

By: David L. Chase
David L. Chase, Member

State of Maine
County of York

Then personally appeared before me on this 24 day of September, 2020 the said Laurie A. Chase, Member and David L. Chase, Member of CPN Realty, LLC and acknowledged the foregoing to be their voluntary act and deed in their said capacity.



Timothy E. Cornwell
Notary Public
Commission expiration:

Red Door Title ☐ 1 New Hampshire Avenue, Suite 320 Portsmouth NH 03801 ☐ (207) 358-7500

Please Return to:
CPN Realty
Po Box 657
Eliot, ME 03903

DEBRA L. ANDERSON, REGISTER OF DEEDS



Bk 17849 PG 563
Instr # 2018049422
11/26/2018 11:15:32 AM
Pages 5 YORK CO

WARRANTY DEED

DLN: 1001840044452
KNOW ALL PERSONS BY THESE PRESENTS that JESSE REALTY, LLC, a Florida Limited Liability Company, with an address of 2552 Longboat Drive, Naples, Florida (34104), and CPN REALTY, LLC, a New Hampshire limited liability company, with an address of 31 Clark Road, Eliot, Maine (03903), and a mailing address of PO Box 657, Eliot, Maine (03903), for consideration paid, grant to JESSE REALTY, LLC, a Florida Limited Liability Company, with an address of 2552 Longboat Drive, Naples, Florida (34104), with Warranty Covenants:

Maine R. E. Transfer Tax Paid

A certain unimproved parcel of land, situated in the Town of Eliot, County of York, State of Maine, located on the westerly side of Main Street, containing approximately 4.455 acres of upland, and the associated tidal flats in the Piscataqua River, being a portion of the land of the grantor described in a deed recorded at the York County Registry of Deeds in Book 17481, Page 446 and shown as **PROPOSED LOT 2** on a plan by CIVIL CONSULTANTS, dated November 6, 2018, entitled "PROPOSED DIVISION OF LAND OF HOME FIELD TRUST, ORLEY MAE WHITE, TRUSTEE, 787 MAIN ST., ELIOT, YORK COUNTY, ME" - project 16-166.00, to be recorded (the "Plan"),

(reference is also made to a plan by CIVIL CONSULTANTS, entitled "BOUNDARY PLAN PREPARED FOR JAMES D. & ORLEY MAE WHITE, Site Location: 139 Main Street, Eliot, Maine", project number 89-115.01, dated June 21, 2005, recorded at the York County Registry of Deeds in Plan Book 302, Page 6; bearings as shown on the first referenced plan are based on Grid North, Maine State Plane Coordinate System, West Zone, NAD 83; bearings as shown on the second referenced plan are based on magnetic north; the orientation difference is 14°28'49")

and being more particularly described as follows:

UPLAND PARCEL

BEGINNING at a 5/8" diameter iron rebar with a cap marked "PLS 1311" in the westerly line of Main Street which marks the northeasterly corner of land now or formerly of the Fred King, Jr. Living Trust and the Beverly J. King Living Trust as described in a deed recorded at the York

5p ↓
Red Door title, LLC

County Registry of Deeds in Book 8105, Page 151 and the most easterly corner of the herein-described parcel;

thence S 54°21'53" W, along said King land, 305.00 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311";

thence S 42°17'19" E, along said King land, 258.00 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311";

thence N 46°46'42" E, along said King land, 18.00 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311";

thence S 45°22'40" E, along land now or formerly of Jason Scott King as described in a deed recorded at the York County Registry of Deeds in Book 15988, Page 824, 99.07 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311";

thence S 45°22'40" E, along land now or formerly of Kent W. and Deanna L. Davis as described in a deed recorded at the York County Registry of Deeds in Book 16208, Page 514, 99.07 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1311" in a stone wall;

thence S 46°28'30" W, along said stone wall and land now or formerly of Jeanne A. Thorvaldsen and Kenneth Wyman as described in a deed recorded at the York County Registry of Deeds in Book 15863, Page 285, land now or formerly of Debra A. and Steven R. Farnham as described in a deed recorded at the York County Registry of Deeds in Book 9954, Page 245, and land now or formerly of Barbara F. Gauthier as described in a deed recorded at the York County Registry of Deeds in Book 2699, Page 10, 221.19 feet to a point at the end of said wall;

thence S 46°48'03" W, along land now or formerly of Clinton and Pamela M. Newland as described in a deed recorded at the York County Registry of Deeds in Book 2133, Page 887, land now or formerly of Nichole M. and Frederick L. Poisson as described in a deed recorded at the York County Registry of Deeds in Book 11980, Page 184, land now or formerly of Barbara B. Wilson and Katherine H. Morin as described in a deed recorded at the York County Registry of Deeds in Book 14551, Page 713, land now or formerly of John E. and Sigred Marston as described in a deed recorded at the York County Registry of Deeds in Book 1985, Page 249, and land now or formerly of Janet A. and Julia M. Saurman as described in a deed recorded at the York County Registry of Deeds in Book 15517, Page 54, 349.49 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1302";

thence S 46°45'56" W, along land now or formerly of Gregory J. and Andrea M. Power as described in a deed recorded at the York County Registry of Deeds in Book 8136, Page 264, 97.36 feet to a 5/8" diameter iron rebar with a cap marked "PLS 1302";

thence S 46°45'56" W, along said land now or formerly of Gregory J. and Andrea M. Power, 97.36 feet to a 5/8" diameter iron rebar with a cap marked "PLS 2059";

thence S 46°45'56" W, along said land now or formerly of Gregory J. and Andrea M. Power, 52.70 feet to a point at normal high water line of the Piscataqua River;

thence northwesterly by the meanders of the normal high water line of said river, approximately 190 feet to a point at the westerly end of a new division line, said point being located at a tie course and distance of N 39°03'15" W, 188.09 feet from the last described point;

thence N 44°45'45" E, along a new division, 305.15 feet to a point;

thence N 41°35'50" E, along a new division, 294.40 feet to a point in the westerly line of a proposed 50-foot wide access way;

thence N 41°35'50" E, along a new division and the southerly terminus of said access way, 25.09 feet to a point;

thence generally northerly, following the arc of a circular curve concave to the northeast and along the centerline of said access way, an arc length of 207.31 feet to a point, said curve is additionally defined by the following elements: radius=200.00 feet, central angle=59°23'25", chord bearing=N 23°53'29" W, chord length=198.15 feet;

thence N 05°48'14" E, along the centerline of said access way, 77.39 feet to a point;

thence generally northeasterly, following the arc of a circular curve concave to the east and along the centerline of said access way, an arc length of 84.75 feet to a point, said curve is additionally defined by the following elements: radius=100.00 feet, central angle=48°33'40", chord bearing=N 30°05'04" E, chord length=82.24 feet;

thence N 54°21'53" E, along the centerline of said access way, 259.87 feet to a point in the westerly line of Main Street;

thence S 46°14'14" E, along Main Street, 37.50 feet to the POINT OF BEGINNING;

together with all of the appurtenant tidal lands in the Piscataqua River, and

together with easements of record benefitting the herein-described parcel as are identified on the herein-referenced plans, and subject to easements also as identified on said plans;

TOGETHER WITH an easement for the benefit of the owners of PROPOSED LOT 2, in common with the owners of PROPOSED LOT 1 shown on the Plan, and identified on the Plan as "Proposed Private 50' Access Way," to be used as a shared driveway for ingress and egress from and to Main Street, by foot and by vehicle, and for the construction and maintenance of above ground and below ground utilities;

TOGETHER WITH AND SUBJECT TO the obligation of current and future owners of PROPOSED LOT 1 and PROPOSED LOT 2 (the "Lot Owners") to maintain the Proposed Private 50' Access Way in a good and useful condition, under all traffic and weather conditions.


The Lot Owners shall equally share the cost of necessary maintenance and repairs, including but not limited to, snowplowing, snow removal, sanding and ice control, grading, installation and maintenance of ditches and culverts, cutting of brush and paving, all as applicable. This maintenance obligation shall be enforceable by either of the Lot Owners, their heirs, successors and assigns, and shall also be for the benefit of the mortgagees of the Lot Owners, such that any mortgagee of a mortgage of the premises referred to herein shall have the right to enforce this Agreement;

TOGETHER WITH an easement for the benefit of the owners of PROPOSED LOT 2, 10-feet in width, across PROPOSED LOT 1 shown on the Plan, in a mutually convenient location to allow for a connection to any existing or future waterlines constructed within the "30' Water Line Easement" shown on the Plan and described in deed recorded at the York County Registry of Deeds in Book 1985, Page 188;

MEANING AND INTENDING to describe and convey a portion of the premises conveyed by deed of Orley Mae White, Trustee of the Home Field Trust, said deed of near or even date and recorded herewith.


WITNESS my hand and seal on this 21 day of November, 2018.

JESSE REALTY, LLC


By: Kris Glidden, Member

STATE OF New Hampshire
COUNTY OF Rockingham

Before me this 21 day of November, 2018, personally appeared the above-named Kris Glidden in the capacity as Member of Jesse Realty, LLC, and acknowledged the foregoing instrument to be her voluntary act and deed in said capacity.


Notary Public/Attorney at Law
My Comm. Expires: _____

Timothy E Cornwell
New Hampshire
Commissioner of Deeds
My Commission Expires
01/24/2023

WITNESS our hands and seals on this 21 day of November, 2018.

CPN REALTY, LLC

David L. Chase

By: David L. Chase, Member

Laurie A. Chase

By: Laurie A. Chase, Member

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

Before me this 21 day of November, 2018, personally appeared the above-named David L. Chase and Laurie A. Chase in their capacity as Members of CPN Realty, LLC, and acknowledged the foregoing instrument to be their voluntary act and deed in said capacity.

Timothy E. Cornwell
Notary Public/Attorney at Law
My Comm. Expires: _____

Timothy E Cornwell
New Hampshire
Commissioner of Deeds
My Commission Expires
01/24/2023

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS: That I, **Mark McNally**, Married, of 1381 Elwyn Road, Portsmouth, Rockingham County NH 03801, for consideration paid grant(s) to **Kristan Glidden**, Single, of 60 Pointe Place, Apt 204, Dover, Strafford County NH 03820, with WARRANTY COVENANTS:

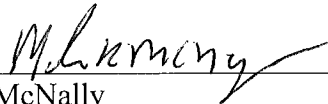
A certain lot or parcel of land, together with the buildings thereon, situated in the Town of Eliot, County of York and State of Maine, and bounded and described as follows:

COMMENCING at the northerly corner of this parcel at a hub driven into the ground at the southwesterly sideline of Route #103 in said Eliot, which hub lies 75 feet southeasterly of the point of intersection of the fence marking the boundary line of property now or formerly of Hanscom heirs' and the southwesterly sideline of said Route #103; and running thence South 31-1/2° East for 218 feet to a hub driven into the ground at the southwesterly sideline of said Route #103 and at the easterly corner of the premises hereby conveyed; thence turning and running South 63° West for 318 feet to another hub driven into the ground designating the southerly corner of this parcel; thence turning and running North 28° West 258 feet to another hub driven into the ground designating the westerly corner of this parcel; thence turning and running North 70° East 305 feet to the first mentioned hub and place of beginning.

Meaning and intending to describe and convey the same premises conveyed to Mark McNally from Michael Anthony Boccia and Valentina Hong Thanh Luong Trust by virtue of a deed dated and recorded on August 3, 2020, in the York County Registry of Deeds in Book 18327, Page 751.

The property is not the residence of the grantor or the grantor's spouse and is not subject to homestead rights.

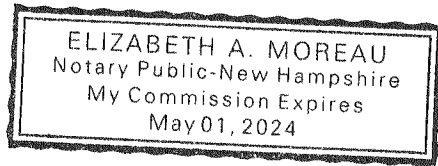
Executed this 6th day of February, 2023.




Mark McNally

State of New Hampshire
County of Rockingham

Then personally appeared before me on this 6th day of February 2023, the said Mark McNally and acknowledged the foregoing to be his voluntary act and deed.





Notary Public/Justice of the Peace
Commission expiration: 5/1/2024

From: [Planner](#)
To: [Mike Sudak](#)
Cc: [Kim Tackett](#); [Sammie Goddard](#); [Ken Wood](#)
Subject: RE: Main Street Subdivision - Hydrant Relocation
Date: Tuesday, May 30, 2023 3:30:22 PM

Mike,

I think this is a minor enough amendment that it can be applied for using the one-page "Request for Planning Board Action", accompanied by the updated relevant plan sheet(s), and considered by the PB at a single meeting.

Jeff

Jeff Brubaker, AICP
(207) 439-1813 x112

From: Mike Sudak <mike@attarengineering.com>
Sent: Tuesday, May 30, 2023 2:13 PM
To: Planner <jbrubaker@eliotme.org>
Cc: Kim Tackett <ktackett@eliotme.org>; Sammie Goddard <sammie@attarengineering.com>; Ken Wood <Ken@attarengineering.com>
Subject: RE: Main Street Subdivision - Hydrant Relocation

Good Afternoon Jeff,

I just left you a voicemail and am following up here. Chief Muzeroll stopped in the end of last week and forwarded this email to me earlier today regarding the relocation of the fire hydrant at Clover Farm Subdivision. A quick look through the ordinance tells me that this would fall under §41-182 for plan revisions after approval, which would require Planning Board approval. I am hopeful that this would be a quick amendment given Chief Muzeroll's approval, but please let me know your thoughts and what sort of application you would like to see us put together for this.

Thanks and take care,
-Mike

From: Chief Jay Muzeroll <eliotfirechief@hotmail.com>
Sent: Tuesday, May 30, 2023 1:56 PM
To: Mike Sudak <mike@attarengineering.com>
Subject: Fwd: Main Street sub division

From: Chief Jay Muzeroll <eliotfirechief@hotmail.com>

Sent: Tuesday, May 23, 2023, 21:10

To: Jeff Brubaker <jbrubaker@eliotme.org>

Cc: tomhowarthbuilderinc@gmail.com <tomhowarthbuilderinc@gmail.com>

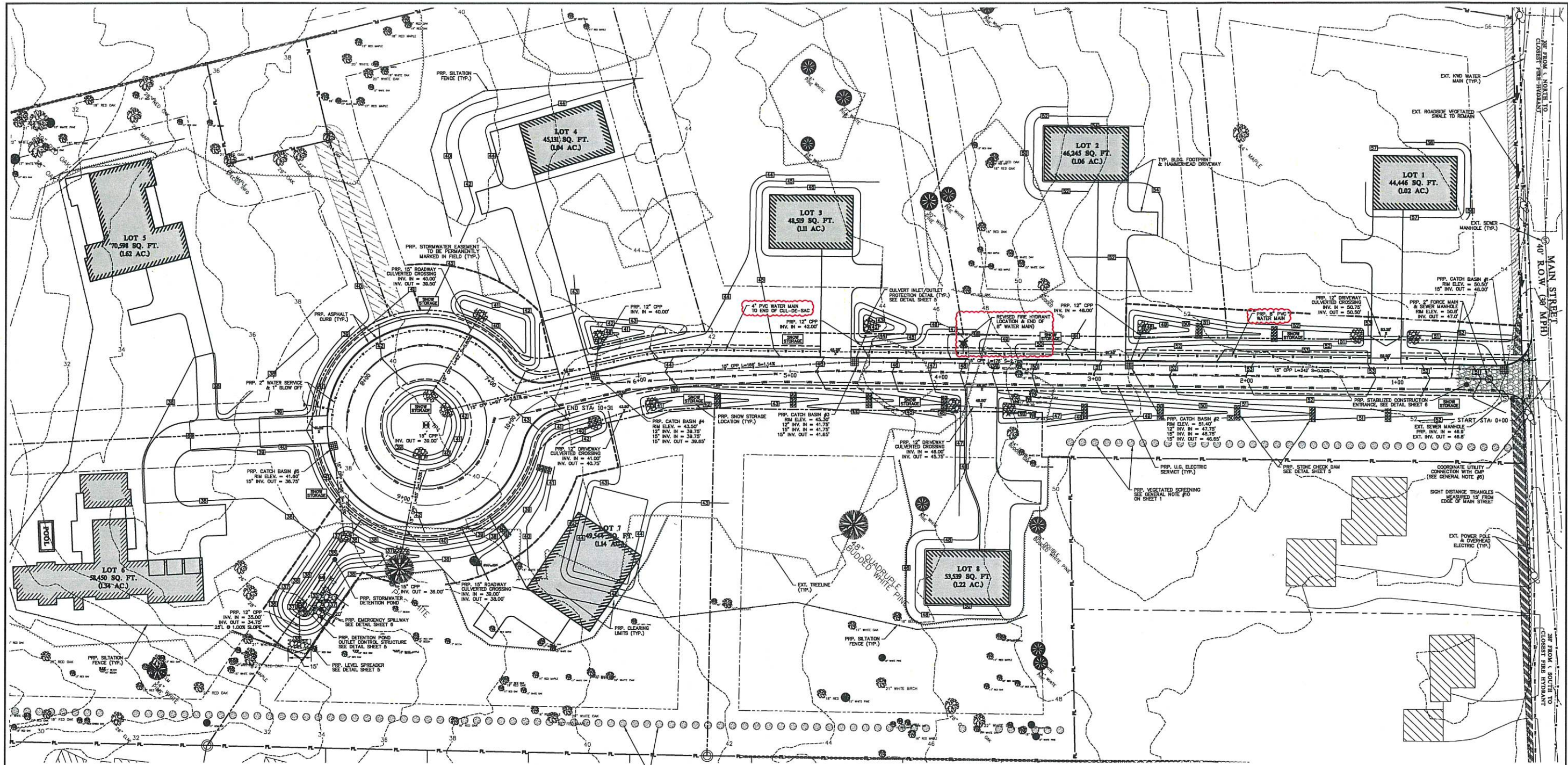
Subject: Main Street sub division

Jeff,

I met with Tom Howarth today. He requested that I reconsider the placement of the required hydrant at the Main St sub division. My memory isn't great, but I do not think I suggested it be placed at the beginning of cul de sac. That being said I measured the roadway in relation to house lots and distances from existing hydrants. I have verbally approved the relocation of the hydrant between lots 2&3. Im not sure if that requires planning board approval. Let me know what/if anything more needs to be done.

Jay P. Muzeroll
Eliot Fire Chief/EM Director
CFO III, CFI II, CPE II

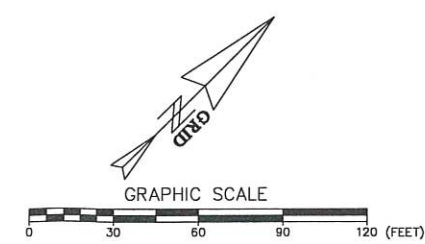
Under Maine's Freedom of Access ("Right to Know") law, all e-mail and e-mail attachments received or prepared for use in matters concerning Town business or containing information relating to Town business are likely to be regarded as public records which may be inspected by any person upon request, unless otherwise made confidential by law.



LEGEND	
PROPERTY LINE	---
SETBACK	---
EXT. ABUTTER LINE	---
PRP. LOT LINE	---
CENTERLINE OF ROAD	---
EXT. GRAVEL	---
EXT. PAVEMENT	---
PRP. GRAVEL	---
PRP. PAVEMENT	---
EXT. BUILDING	▨
PRP. BUILDING	▨
EXT. WATER LINE	W
EXT. WATER HYDRANT	⋈
PRP. WATER LINE	W
PRP. WATER HYDRANT	⋈
PRP. STORM LINE	D
PRP. RIP RAP	▨
EXT. SEWER LINE	S
EXT. SEWER MANHOLE	⊙
PRP. FORCE MAIN	FM
PRP. SEWER MANHOLE	⊙
EXT. OVERHEAD ELEC	OHU
EXT. POWER POLE	⊕
PRP. U.G. ELECTRIC	UGU
EXT. STONEWALL	---
EXT. MAJOR CONTOUR	XXX
EXT. MINOR CONTOUR	XXX
PRP. MAJOR CONTOUR	XXX
PRP. MINOR CONTOUR	XXX
PRP. SPOT GRADE	102.0'
EXT. TREELINE	---
PRP. CLEARING LIMITS	---
EXT. TREE >24" DBH	⊙
PRP. VEG. SCREENING	---

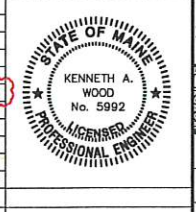
GRADING & UTILITY NOTES	
1.) SEWER FORCE MAINS SHALL BE SDR 35 PVC. ALL OTHER APPURTENANCES SHALL MEET KITTERY SEWER DISTRICT STANDARDS. SEE DETAIL FOR TYPICAL INDIVIDUAL SERVICE SIZES.	
2.) ALL PIPES, VALVES, FITTINGS, AND CONNECTIONS SHALL MEET CURRENT KITTERY WATER DISTRICT STANDARDS.	
3.) ALL WATER SERVICES TO BE EQUIPPED WITH CURB STOPS.	
4.) ALL STORM DRAINS SHALL BE ADS N-12 (HDPE) OR APPROVED EQUAL (UNLESS NOTED OTHERWISE). PROPER TRENCHING AND BACKFILLING ARE VITAL TO THE LONG TERM PERFORMANCE AND DURABILITY OF HDPE CULVERT INSTALLATIONS. SEE HDPE CULVERT TRENCH DETAIL.	
5.) A MINIMUM OF 5.0' OF COVER SHALL BE MAINTAINED OVER ALL WATER LINES.	
6.) CENTRAL MAINE POWER COMPANY WILL PREPARE THE ELECTRICAL PLAN FOR CONSTRUCTION. ALL ELECTRICAL, TELEPHONE, AND CABLE SERVICES WILL BE UNDERGROUND.	
7.) NEW WATER AND SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH RESPECTIVE DISTRICT REQUIREMENTS.	
8.) SNOW STORAGE LOCATIONS ARE DEPICTED ON THE PLANS. ROADSIDE SNOW STORAGE IS LOCATED IN THE SOUTHERLY VEGETATED SWALE, AS WELL AS IN THE DETENTION AREA IN THE CENTER OF THE CUL-DE-SAC. IN AN INSTANCE WHERE THE DEVELOPED LOT REACHES ITS CAPACITY FOR SNOW STORAGE, ALL EXCESS SNOW SHALL BE CARRIED OFF-SITE.	
9.) ALL PROPOSED LOTS SHALL BE SERVICED BY A LOW-PRESSURE GRINDER SEWAGE PUMP UNIT (E-ONE, BARNES ECO-TRAN, OR APPROVED EQUAL).	

- SEWER FORCE MAINS SHALL BE SDR 35 PVC. ALL OTHER APPURTENANCES SHALL MEET KITTERY SEWER DISTRICT STANDARDS. SEE DETAIL FOR TYPICAL INDIVIDUAL SERVICE SIZES.
- ALL PIPES, VALVES, FITTINGS, AND CONNECTIONS SHALL MEET CURRENT KITTERY WATER DISTRICT STANDARDS.
- ALL WATER SERVICES TO BE EQUIPPED WITH CURB STOPS.
- ALL STORM DRAINS SHALL BE ADS N-12 (HDPE) OR APPROVED EQUAL (UNLESS NOTED OTHERWISE). PROPER TRENCHING AND BACKFILLING ARE VITAL TO THE LONG TERM PERFORMANCE AND DURABILITY OF HDPE CULVERT INSTALLATIONS. SEE HDPE CULVERT TRENCH DETAIL.
- A MINIMUM OF 5.0' OF COVER SHALL BE MAINTAINED OVER ALL WATER LINES.
- CENTRAL MAINE POWER COMPANY WILL PREPARE THE ELECTRICAL PLAN FOR CONSTRUCTION. ALL ELECTRICAL, TELEPHONE, AND CABLE SERVICES WILL BE UNDERGROUND.
- NEW WATER AND SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH RESPECTIVE DISTRICT REQUIREMENTS.
- SNOW STORAGE LOCATIONS ARE DEPICTED ON THE PLANS. ROADSIDE SNOW STORAGE IS LOCATED IN THE SOUTHERLY VEGETATED SWALE, AS WELL AS IN THE DETENTION AREA IN THE CENTER OF THE CUL-DE-SAC. IN AN INSTANCE WHERE THE DEVELOPED LOT REACHES ITS CAPACITY FOR SNOW STORAGE, ALL EXCESS SNOW SHALL BE CARRIED OFF-SITE.
- ALL PROPOSED LOTS SHALL BE SERVICED BY A LOW-PRESSURE GRINDER SEWAGE PUMP UNIT (E-ONE, BARNES ECO-TRAN, OR APPROVED EQUAL).



NO.	DESCRIPTION	DATE
F	AMENDMENT - HYDRANT RELOCATION	07/05/23
E	CONDITIONS OF APPROVAL	04/20/23
D	FINAL PLAN SUBMISSION	01/09/23
C	THIRD PARTY REVIEW REVISIONS	12/06/22
B	THIRD PARTY REVIEW REVISIONS	11/01/22
A	PRELIMINARY REVIEW REVISIONS	10/04/22

TAX MAP 6, LOT 43, 44, & 154



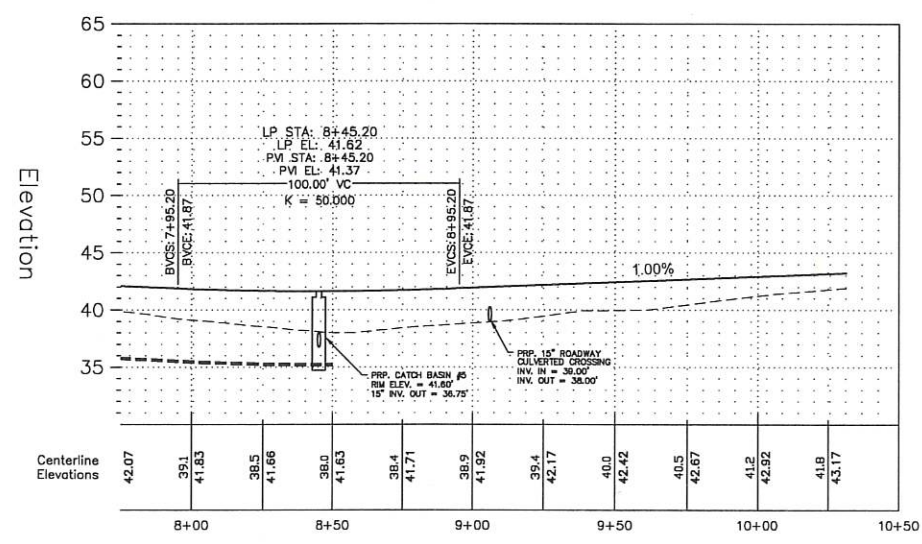
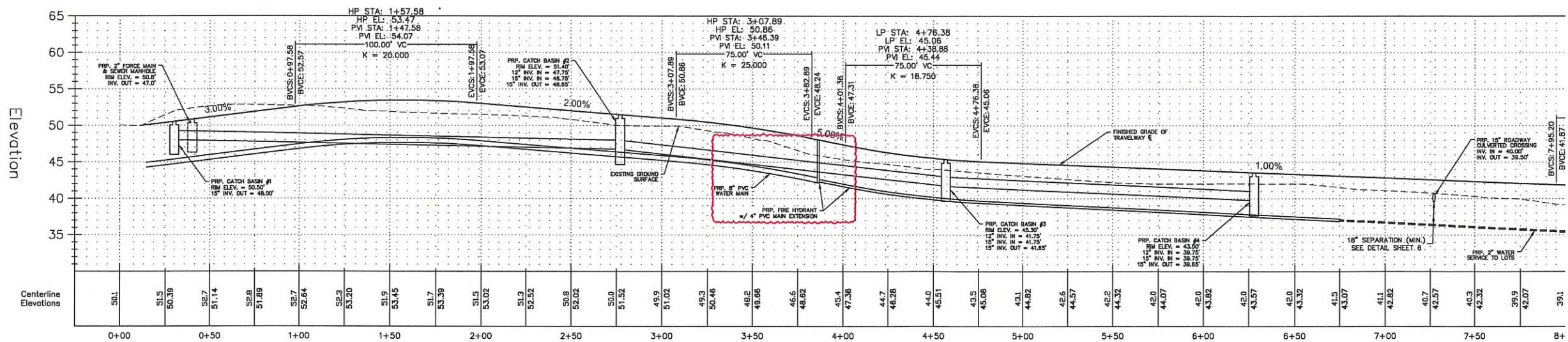
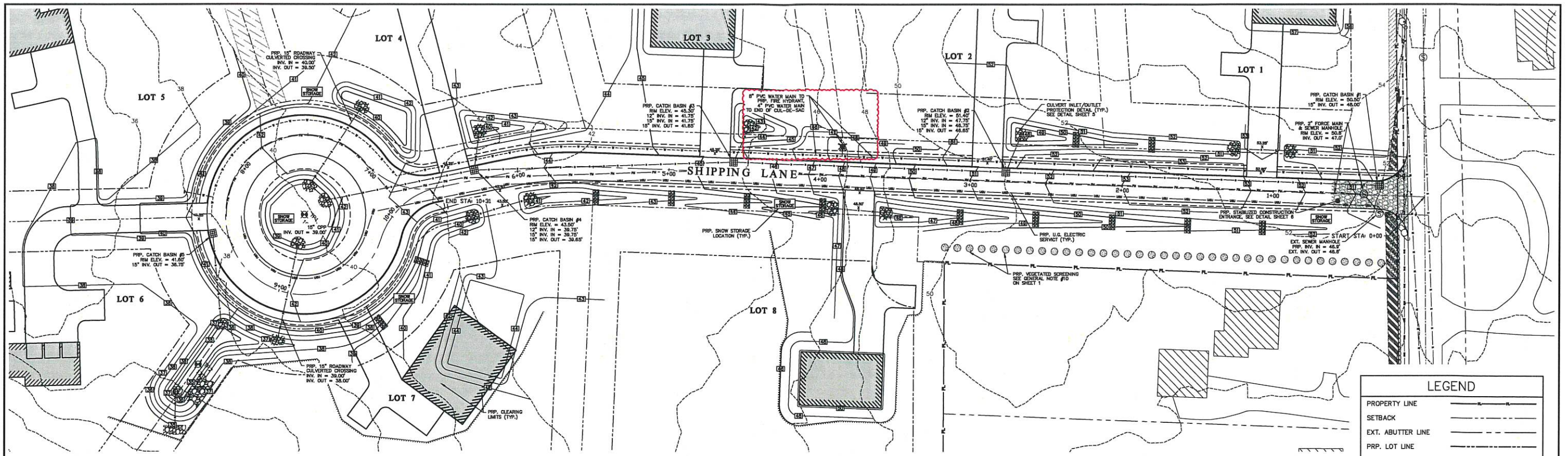
GRADING & UTILITIES PLAN
CLOVER FARM SUBDIVISION
MAIN STREET, ELIOT, MAINE

FOR: JESSE REALTY, LLC. & LJE DEVELOPMENT, LLC.
2552 LONGBOAT DRIVE & 2 PUNKINTOWN ROAD, SUITE 340
NAPLES, FL 34104 & SOUTH BERWICK, ME 03908

ATTAR ENGINEERING, INC.
CIVIL • STRUCTURAL • MARINE
1284 STATE ROAD - ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

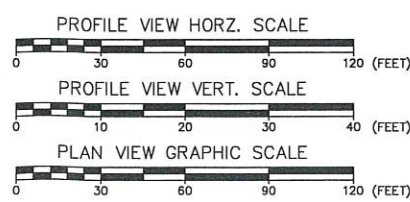
SCALE: 1" = 30'
DATE: 08/23/22
JOB NO: C174-21 FILE: MAIN ST REV BASE.DWG

APPROVED BY: [Signature]
DRAWN BY: MJS
REVISION DATE: F: 07/05/23
SHEET: 3



LEGEND

PROPERTY LINE	---
SETBACK	---
EXT. ABUTTER LINE	---
PRP. LOT LINE	---
CENTERLINE OF ROAD	---
EXT. GRAVEL	---
EXT. PAVEMENT	---
PRP. GRAVEL	---
PRP. PAVEMENT	---
EXT. BUILDING	▨
PRP. BUILDING	▨
EXT. WATER LINE	W
EXT. WATER HYDRANT	⊗
PRP. WATER LINE	W
PRP. WATER HYDRANT	⊗
PRP. STORM LINE	D
PRP. RIP RAP	▨
EXT. SEWER LINE	S
EXT. SEWER MANHOLE	⊙
PRP. FORCE MAIN	FM
PRP. SEWER MANHOLE	⊙
EXT. OVERHEAD ELEC	OHU
EXT. POWER POLE	⊕
PRP. U.G. ELECTRIC	UGU
EXT. STONEWALL	---
EXT. MAJOR CONTOUR	XXX
EXT. MINOR CONTOUR	XXX
PRP. MAJOR CONTOUR	XXX
PRP. MINOR CONTOUR	XXX
PRP. SPOT GRADE	102.0'
EXT. TREELINE	---
PRP. CLEARING LIMITS	---
EXT. TREE >24" DBH	⊙
PRP. VEG. SCREENING	---



NO.	DESCRIPTION	DATE
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TAX MAP 6, LOT 43, 44, & 154



ROADWAY PLAN & PROFILE
CLOVER FARM SUBDIVISION
MAIN STREET, ELIOT, MAINE

FOR: JESSE REALTY, LLC. & LJE DEVELOPMENT, LLC.
2552 LONGBOAT DRIVE & 2 PUNKINTOWN ROAD, SUITE 340
NAPLES, FL 34104 & SOUTH BERWICK, ME 03908

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SCALE: 1" = 30'
DATE: 08/23/22
JOB NO: C174-21

APPROVED BY: _____
DRAWN BY: MJS
REVISION DATE: F: 07/05/23
SHEET: 4